

104A PEEL STREET WEST - WEST LAUNCESTON
NEW DWELLING + ANCILLARY DWELLING AND POOL
LEAH PAGE

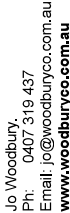
LAUNCESTON CITY COUNCIL
• LOW DENSITY RESIDENTIAL ZONING
• SCENIC MANAGEMENT AREA

AREA SCHEDULE (Gross Building)

TOTAL TITLE AREA: 2063 m2
 TITLE AREA EXCLUDING ACCESS STRIP: 1281 m2
 ROOFED BUILDINGS AREA: 463.33 m2

BUILDING DESIGNER:	JY WOODBURY
CREDITATION No:	551573843
LAND TITLE REFERENCE NUMBER:	C.T.13875/6
DESIGN WIND SPEED:	REFER ENG
SOIL CLASSIFICATION:	REFER ENG
CLIMATE ZONE:	TAC
BUSH/PNE BAL RATING:	PAC
VEGETATION BAL:	MED
CORROSION ENVIRONMENT:	NO
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	UNKNOWN
MINNE SUBSIDENCE:	NO
COASTAL INUNDATION:	NO
LANDFILL:	UNKNOWN
DATUM LEVEL AT KERB:	REFER DWGS
GROUND LEVEL:	REFER DWGS
OVERFLOW RELIEF GULLY LEVEL:	MIN 150MM BEL FIXTURE

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering..



DRAWING SHEETS

Sheet	Drawing	Current Revision	Current Revision Date
A001	TITLE SHEET	1	Date 1
A002	MATERIAL NOTES		
A100	LOCATION PLAN		
A101	SITE PLAN		
A102	FLOOR PLAN		
A103	LEVEL 01 PLAN		
A110	SHADOW DIAGRAM 21ST JUNE		
A201	ELEVATIONS		
A202	ELEVATIONS		
A301	3D VISUALS		
A302	3D VISUALS		
A303	3D VISUALS		
B101	ANCILLARY DWELLING FLOOR PLAN		
B201	ANCILLARY DWELLING ELEVATIONS		
B202	ANCILLARY DWELLING ELEVATIONS		





PLANNING EXHIBITED DOCUMENTS

Ref. No: DA 0295/2023

Date advertised: 02/09/2023

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Planning Administration

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Soil & Water Management Strategies

Downpipes to be connected into water tank as soon as the roof is installed.

Install AG drain prior to footing excavation. See drawing A10 Ground Floor Drainage Plan for location.

Excavated material placed up-slope of AG drain. To be removed when building works are complete and set back to the original ground level. All excavated material to be placed on the opposite side of material.

Construction vehicles to be parked on the street or the driveway once concreted to prevent transferring debris onto Street.

Protection Work
(Section 121 of the Building Act)

If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining owner to be notified using Form 6 (Building and Protection Work Notice) by the Building Surveyor.

Contour interval = 0.5 metre

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PLANNING EXHIBITED

DOCUMENTS

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02/09/2023


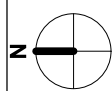
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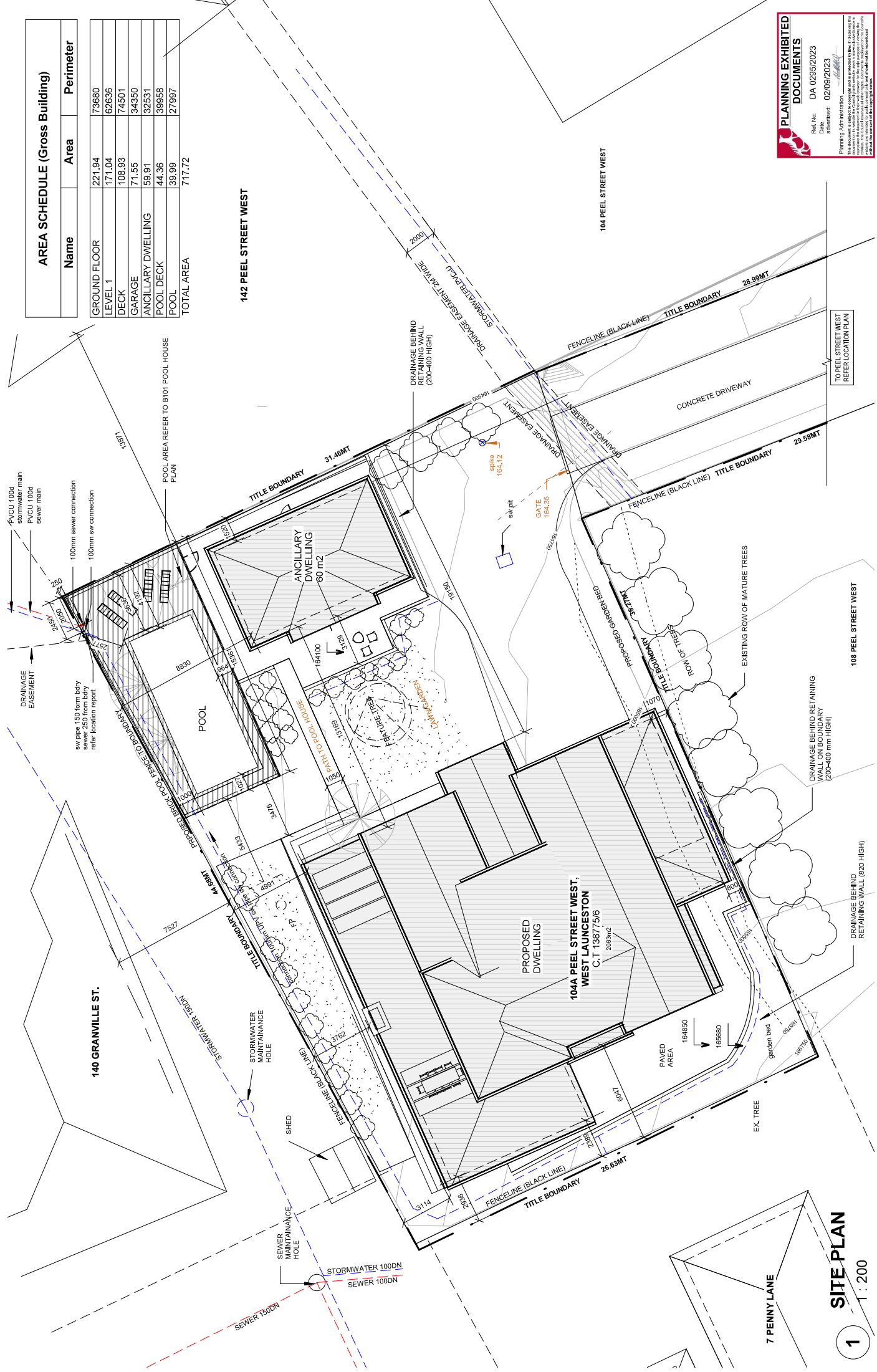


LOCATION PLAN
1 : 750

 <div>WOODBURY & CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road West Launceston TAS 7250 www.woodburyandco.com.au</div>	REV:	DESCRIPTION:	DATE:		Client: LEAH PAGE	Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Project No: LP2021	Drawing Title: LOCATION PLAN	Sheet No: A100
							Drawn By: Jo Woodbury	Date: AUG 2023	30/09/2023 11:54:30 AM
							Accreditation No: 551573843	Scale: 1 : 750	

Document Set ID: 4964575
Version: 1, Version Date: 02/10/2023

AREA SCHEDULE (Gross Building)		
Name	Area	Perimeter
GROUND FLOOR	221.94	73680
LEVEL 1	171.04	62636
DECK	108.93	74501
GARAGE	71.55	34350
ANCILLARY DWELLING	99.91	32531
POOL DECK	44.36	39958
POOL	39.99	27987
TOTAL AREA	717.72	



1 SITE PLAN
1 : 200

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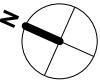
Ref. No: DA 0295/2023
Date advertised: 02/09/2023

Planning Administration: *[Signature]*
Date: 02/09/2023

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WOODBURY&CO BUILDING DESIGN Phone 0407 319 437 28 Denison Road West Launceston TAS 7250 woodburyco.com.au	Rev 01	tas water asset location	14/08/2023	Client: LEAH PAGE	Project No: LP2021	Project Title: SITE PLAN	Sheet No: A101
	1	Revision 1	Date 1	at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Drawn By: Jo Woodbury	Date: AUG 2023	
	REV:	DESCRIPTION:	DATE:		Accreditation No: 551573843	Scale: 1 : 200	

ROOM SCHEDULE		
Name	Area	Floor Finish Level
KITCHEN & DINING	49.09	FLOOR PLAN
RUMPUS	19.77	FLOOR PLAN
PANTRY	10.67	FLOOR PLAN
LIVING	47.30	FLOOR PLAN
ENTRY & STAIR	27.00	FLOOR PLAN
GARAGE	68.39	FLOOR PLAN
LDry	14.67	FLOOR PLAN
GUEST RM	16.59	FLOOR PLAN
ENSUITE	4.77	FLOOR PLAN
HALLWAY	12.53	FLOOR PLAN
POWER	3.16	FLOOR PLAN
CELLAR	4.25	FLOOR PLAN
MASTER BEDROOM	24.86	LEVEL01 PLAN
LANDING	28.08	LEVEL01 PLAN
ENSUITE 1	9.98	LEVEL01 PLAN
TOILET	1.99	LEVEL01 PLAN
BEDROOM 3	19.50	LEVEL01 PLAN
ENSUITE 3	7.67	LEVEL01 PLAN
STUDY RM	15.92	LEVEL01 PLAN
ENSUITE 2	7.67	LEVEL01 PLAN
BEDROOM 2	19.50	LEVEL01 PLAN
Robe	12.40	LEVEL01 PLAN



PROJECT
NEW DWELLING
FOR
LEAH PAGE
EAST
ELEVATION

LOCATION
104A PEEL STREET WEST - WEST
LAUNCESTON 7250

DRAWING TITLE
FLOOR PLAN

DATE: AUG 2023
SCALE: 1 : 100

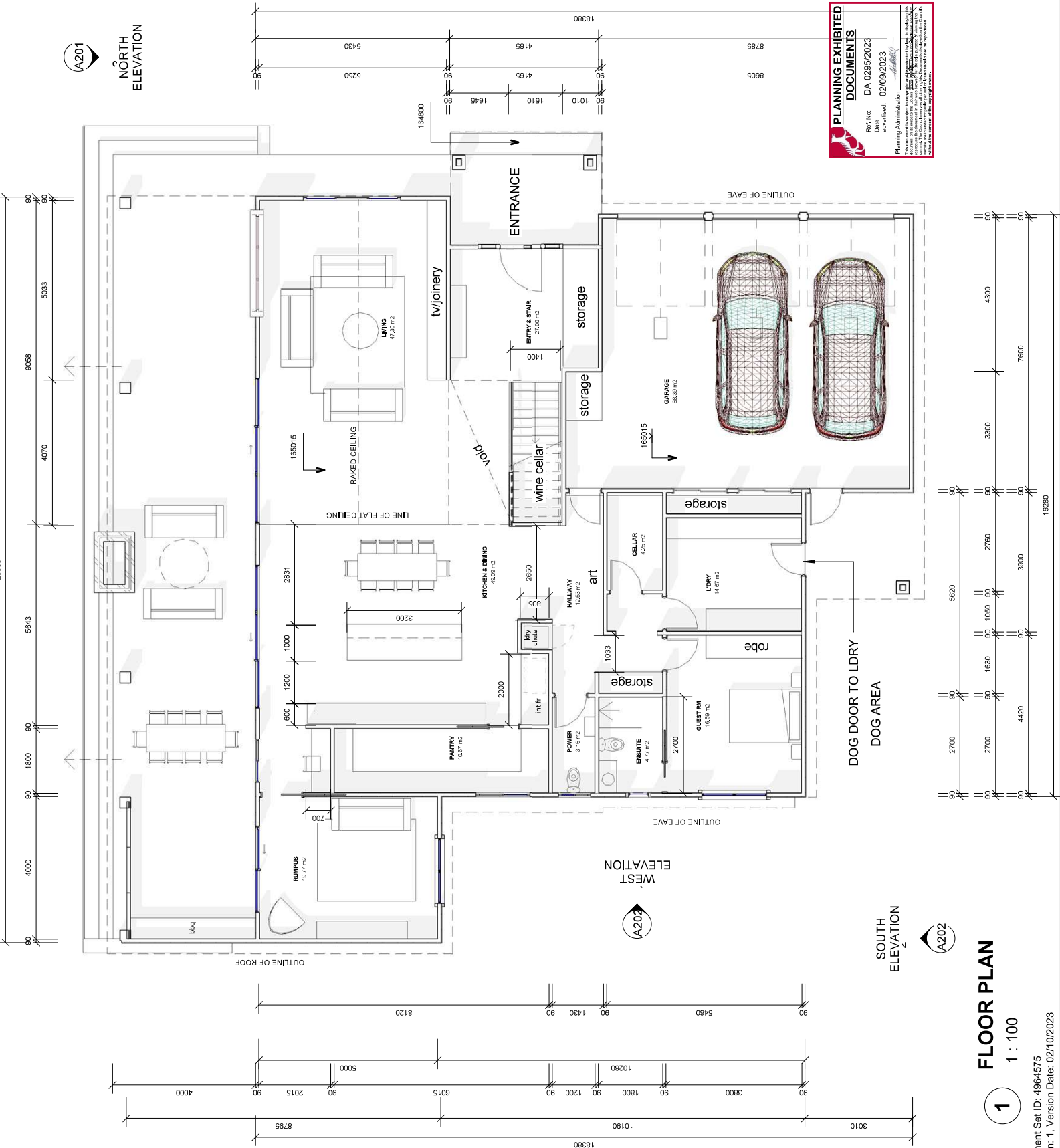
SHEET NO: A102
PROJECT NO: LP2021



Phone 0407 319 437
28 Devon Road
West Launceston TAS 7250
jo@woodburyco.com.au

Jo Woodbury
LICENSE No 551573843

REVISIONS	
DATE	





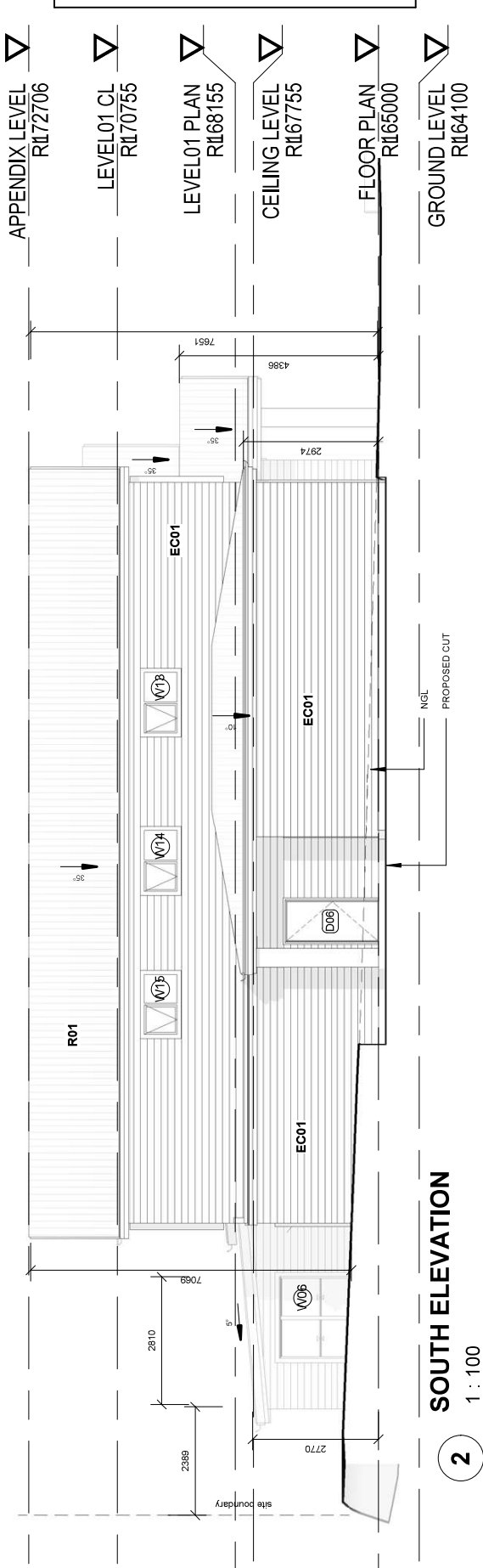
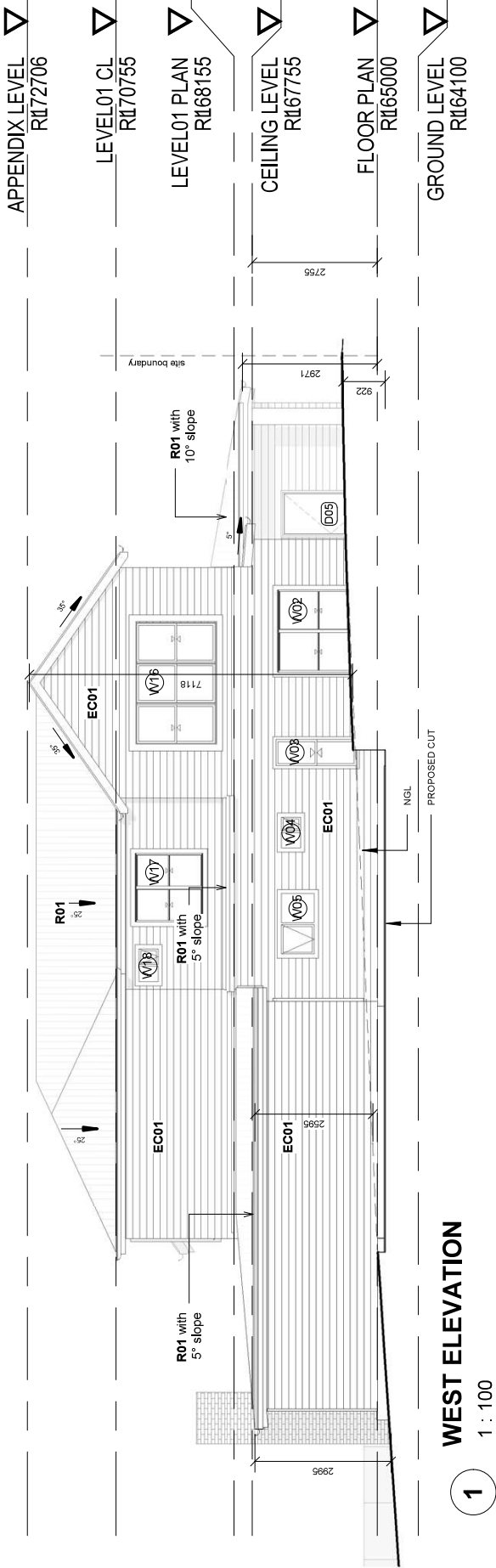
1
FLOOR PLAN
1 : 100

ROOM SCHEDULE			
Name	Area	Floor Finish	Level

	KITCHEN & DINING	49.09	FLOOR PLAN
R	RUMPUS	19.77	FLOOR PLAN
	PANTRY	10.67	FLOOR PLAN
	LIVING	47.30	FLOOR PLAN
	ENTRY & STAIR	27.00	FLOOR PLAN
	GARAGE	68.39	FLOOR PLAN
	L'DRY	14.67	FLOOR PLAN
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	HALLWAY	12.53	FLOOR PLAN
	POWER	3.16	FLOOR PLAN
E	CELLAR	4.25	FLOOR PLAN
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	LANDING	28.08	LEVEL01 PLAN
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	BEDROOM 3	19.50	LEVEL01 PLAN
	ENSUITE 3	7.67	LEVEL01 PLAN
	STUDY RM	15.92	LEVEL01 PLAN
	ENSUITE 2	7.67	LEVEL01 PLAN
	BEDROOM 2	19.50	LEVEL01 PLAN
Robe	12.40	LEVEL01 PLAN	



 WOODBURY & CO BUILDING DESIGN Phone 0437 516 437 28 Division Road West Launceston TAS 7250 jo@woodburycocom.au	REV: _____ DESCRIPTION: _____ DATE: _____		Client: LEAH PAGE Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Project No: LP2021	Drawing Title LEVEL 01 PLAN	Sheet No: A103
				Drawn By: Jo Woodbury	Date: AUG 2023	30/08/2023 11:54:34 AM
				Accreditation No. 551573843	Scale: 1 : 100	



ELEVATION LEGEND	
EC01	James Hardie Linea weatherboard to be painted in white
EC02	Selected Brick
R01	Colourbond Custom Orb - 'Shale Grey' finish
G01	Colourbond 'Surfmist'
F01	Colourbond or hardwood fascia painted finish to match weatherboard - to be confirm by owner
All propriety products to be installed in accordance with manufacturers Specification	
Refer material notes for detailed information	
Windows & doors - refer schedules	

FLOOR FINISHES & NOTES

FF01:

Overlay flooring - supply by owner.

FF02:

Tiles, supply by owner.

EXTERNAL PAVING BY OTHERS

ROOM SCHEDULE

Name	Area	Floor Finish
BATHROOM	4.11	FF02
STORAGE	1.82	FF02
KITCHEN + DINING	24.76	FF01
LIVING RM	24.82	FF01
BUNKS	Not Placed	FF01

AREA SCHEDULE (Gross Building)

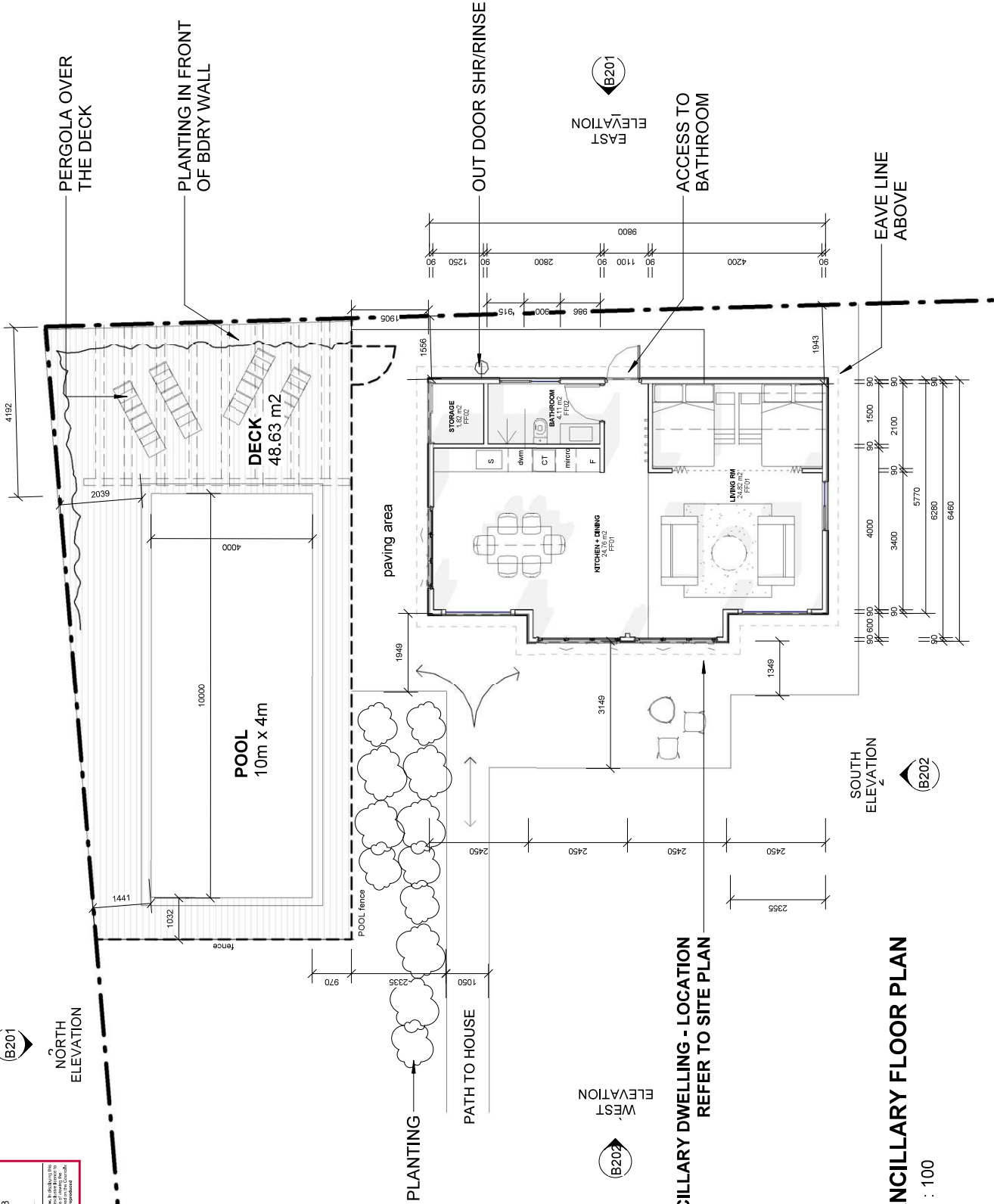
Name	Area	Perimeter
POOL	40.09	28047
ANCILLARY DWELLING	60.58	31720
DECK	48.63	41678
TOTAL AREA	149.29	

General notes

- Taken to framing where specified
- Windows dimensioned to frames
- Refer window & door schedule for further detail
- Refer to drawing A005 for Stair notes

Wood Heater & Hearth

- Selected heater must be installed as per manufacturer's instructions. Clearances to walls specified within the BCA may be reduced if the appliance has a built-in heat shield and manufacturer's documentation can prove compliance with AS/NZS 2918. (Provide manufacturer's certification to Building Surveyor prior to appliance installation).
- Minimum 400mm clearance between triple skin flue and wall behind.
- If heater manufacturer permits, a proprietary tile / slate hearth overlay may be used.
- Alternatively hearth can be constructed as follows: 150mm high hearth, with tiled top and side. Height achieved by laying 9mm compressed sheet over sheet flooring, concrete blocks (or bricks), mortar bed and selected tiles.
- The hearth must extend a minimum of 400mm beyond the front and the sides of the heater



ELEVATION LEGEND

EC01

James Hardie Linea weatherboard to be painted in white

EC03

James Hardie 'easy lap' Vertical cladding with vertical timber pattern

R01

Colourbond Custom Orb - 'Shale Grey' finish

G01

Colorbond 'Surfmist'

F01

Colorbond in Light Grey

All propriety products to be installed in accordance with manufacturers specification

Refer material notes for detailed information

Windows & doors - refer schedules

PLANNING EXHIBITED DOCUMENTS

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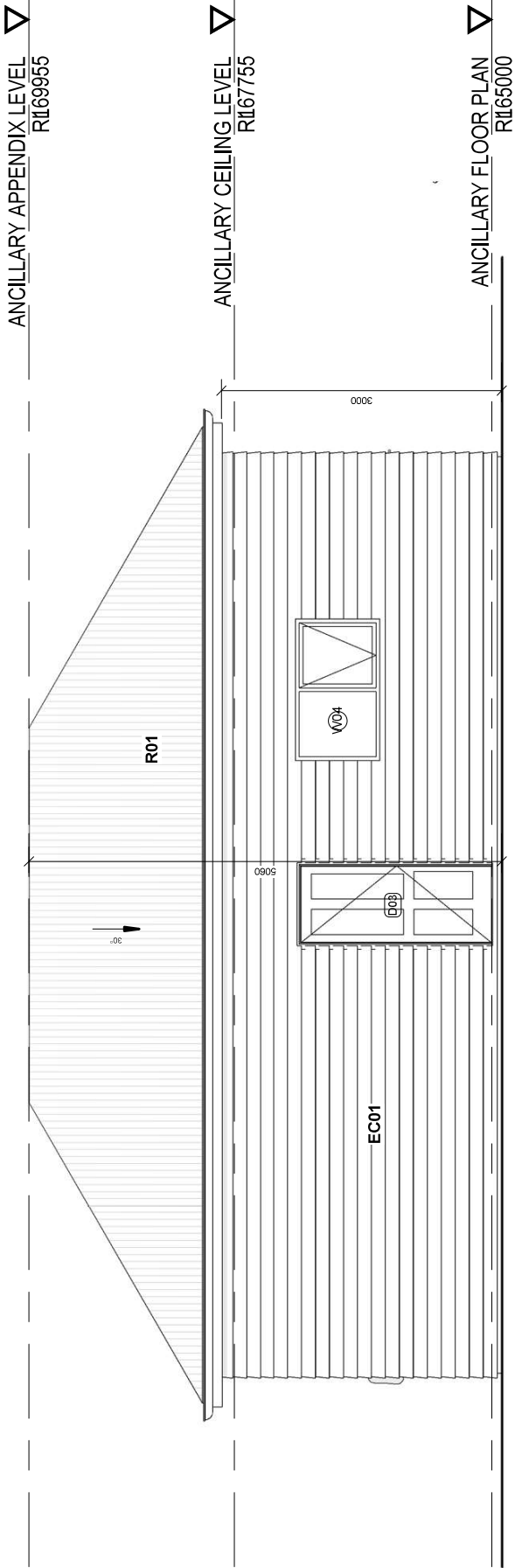
DA 0296/2023

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02/09/2023

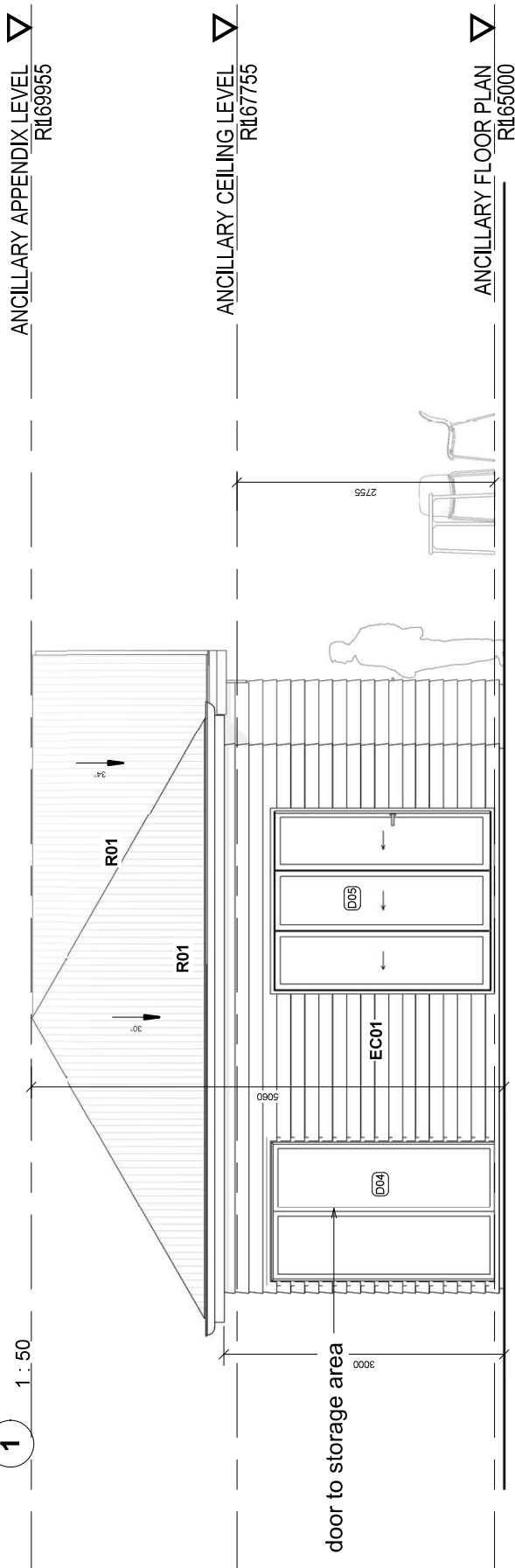
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1 EAST ELEVATION

1 : 50



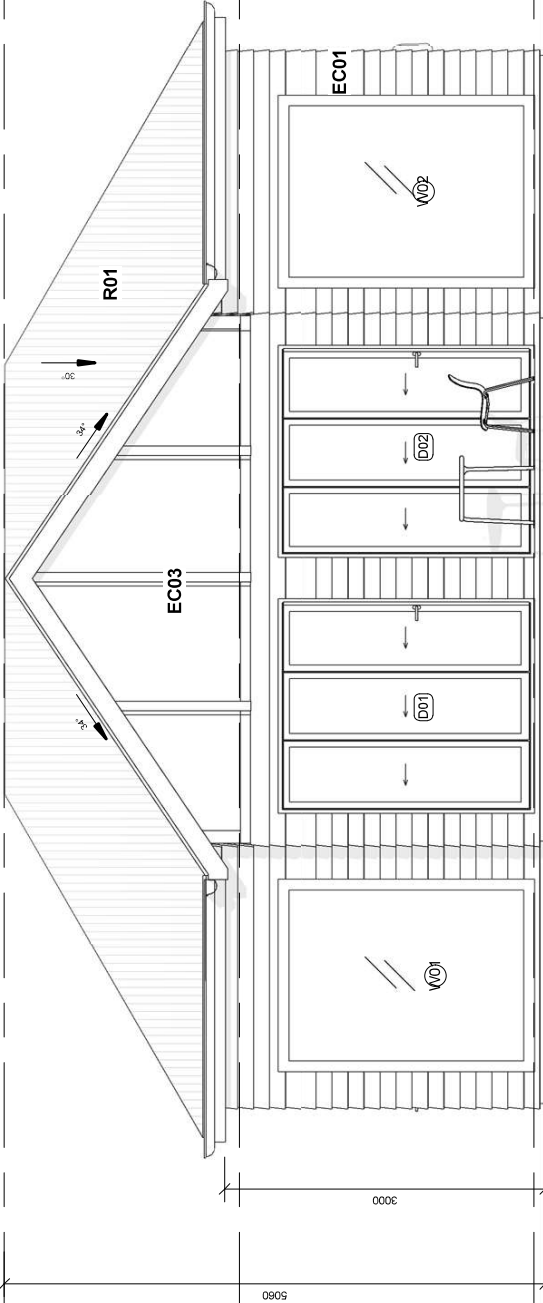
2 NORTH ELEVATION

1 : 50

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ANCILLARY APPENDIX LEVEL

R1169955



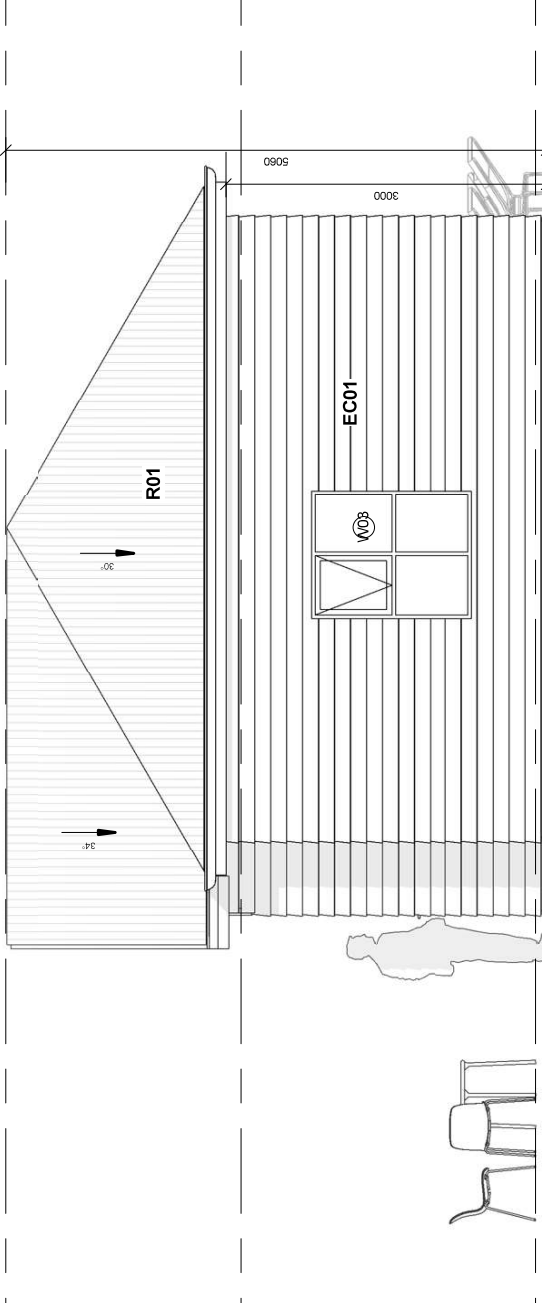
WEST ELEVATION

1 : 50

1

ANCILLARY APPENDIX LEVEL

R1169955



SOUTH ELEVATION

1 : 50

2

ELEVATION LEGEND


- EC01 James Hardie Linea weatherboard to be painted in white
- EC03 James Hardie 'easy lap' Vertical cladding with vertical timber battens
- R01 Colourbond Custom Orb - Shale Grey finish
- G01 Colorbond 'Surfmist'
- F01 Colorbond in Light Grey
- All proprietary products to be installed in accordance with manufacturers specification
- Refer material notes for detailed information
- Windows & doors - refer schedules

PLANNING EXHIBITED DOCUMENTS

Ref. No: DA 0295/2023
Date advised: 02/09/2023

Planning Authorisation

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<div></div> <div>WOODBURY & CO BUILDING DESIGN Phone 0487 310 437 28 Denison Road West Launceston TAS 7250 info@woodburys.com.au</div>	REVISION:	DESCRIPTION:	DATE:	<table><tr><td>Client:</td><td>LEAH PAGE</td></tr><tr><td>Project:</td><td>NEW DWELLING</td></tr><tr><td>at</td><td>104A PEEL STREET WEST - WEST LAUNCESTON 7250</td></tr></table>	Client:	LEAH PAGE	Project:	NEW DWELLING	at	104A PEEL STREET WEST - WEST LAUNCESTON 7250	<table><tr><td>Project No:</td><td>LP2021</td></tr><tr><td>Drawn By:</td><td>Jo Woodbury</td></tr><tr><td>Accreditation No.</td><td>551573843</td></tr></table>	Project No:	LP2021	Drawn By:	Jo Woodbury	Accreditation No.	551573843	Drawing Title	Sheet No.
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	Drawn By:	Jo Woodbury																	
	Accreditation No.	551573843																	
		ANCILLARY DWELLING ELEVATIONS	B202																
		Date:	30/08/2023 11:49:17 AM																
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Submission to Planning Authority Notice

Council Planning Permit No.	DA0295/2023	Council notice date	25/07/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00979-LCC	Date of response	29/08/2023
TasWater Contact	Jake Walley	Phone No.	0467 625 805
Response issued to			
Council name	CITY OF LAUNCESTON		
Contact details	Planning.Admin@launceston.tas.gov.au		
Development details			
Address	LOT 6 PEEL ST WEST, WEST LAUNCESTON	Property ID (PID)	9215555
Description of development	New dwelling, secondary residence and pool		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Woodbury & Co	LP2021 Sheet B105	1	22/08/2023
Woodbury & Co	LP2021 Sheet B106	--	22/08/2023
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>56W CONSENT</p> <ol style="list-style-type: none"> 4. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure. 5. A minimum 0.6m x 0.6m access door must be Installed on the deck over the sewer inspection opening to allow access to TasWater. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 6. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. 			

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.

Further information can be obtained from TasWater.

- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.

- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
(b) installing a meter.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
(b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
(c) A note on the plan indicating how the pipe location and depth were ascertained.
(d) The location of the property service connection and sewer inspection opening (IO).

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au