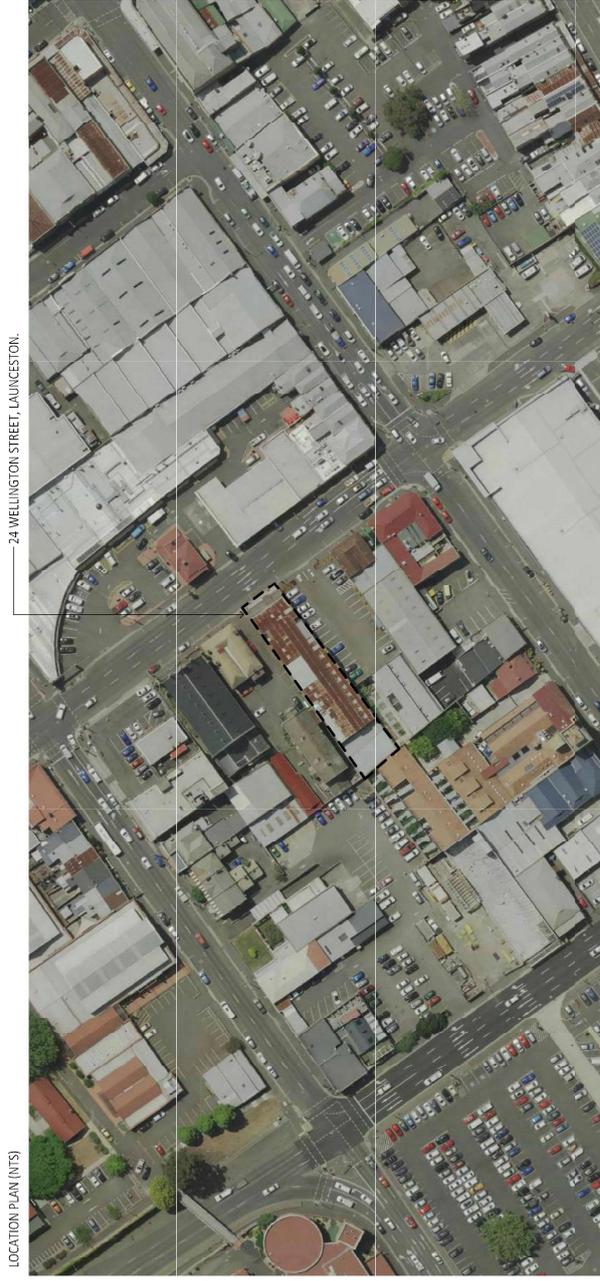


# Ground Floor Fit-Out 24 Wellington Street, Launceston

**DRAWING SCHEDULE**

Sheet Number	Sheet Name
A002	COVER PAGE
A001	SITE PLAN
A002	DEMCO / PROPOSED PLAN
A003	ELEVATIONS
A004	PARKING - CONTEXT MAP

LOCATION PLAN (NTS)



24 WELLINGTON STREET, LAUNCESTON.

**GENERAL INFORMATION:**

Site Name: 24 Wellington Street  
 Project Name: Ground Floor Fit-Out  
 Accreditation Number: CC56180  
 Certificate of Title: 157799/1  
 PID: 6683850  
 Soil Classification: N/A  
 Planning Application: N/A  
 Urban Area: N/A  
 Bushfire-prone Area (BAL rating): N/A  
 Corrosive Environment: N/A  
 Site Area: 882m<sup>2</sup>  
 Proposed Building Area: 882m<sup>2</sup>  
 Proposed Building Area: 882m<sup>2</sup>  
 Planning Zone: 13.0 Urban Mixed Use  
 Heritage Listing: Yes.



**PLANNING EXHIBITED DOCUMENTS**

File No: DA 0371/2023  
 Date: 02/09/2023  
 Planning Administration: *[Signature]*

This document is subject to copyright and its use is restricted by the provisions of the Copyright Act 1969. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.



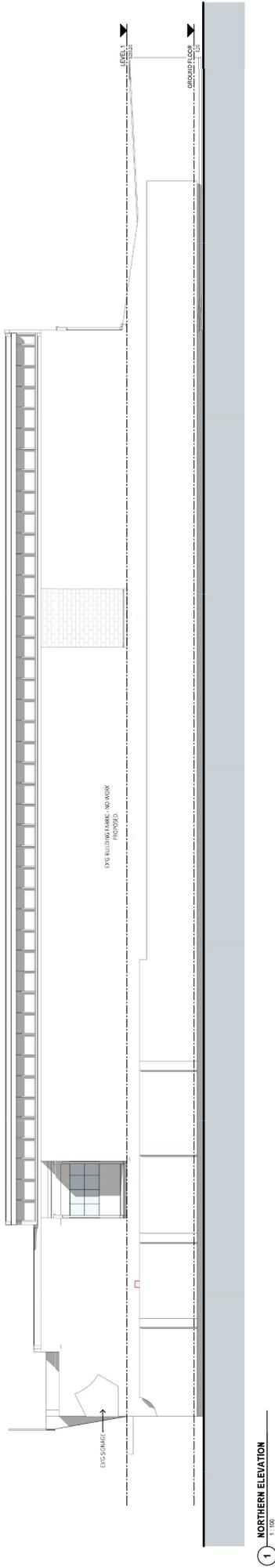
25-31 WELLINGTON STREET

PLANNING EXHIBITED DOCUMENTS

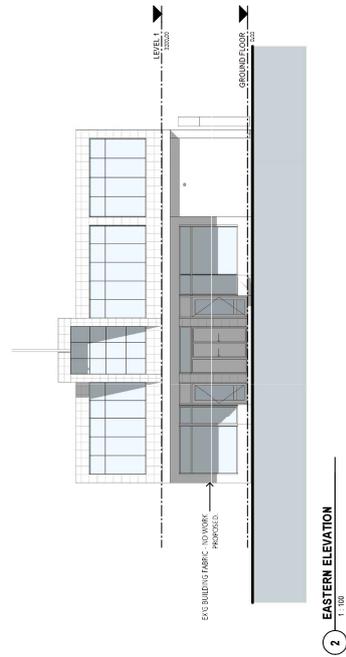
Doc No: DA 0371/2023  
 Date of advertisement: 02/09/2023  
 Planning Administration: *[Signature]*

This document is subject to copyright and is protected by law. It is the property of the Council and is loaned to you for your use only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the consent of the Council. All rights reserved.

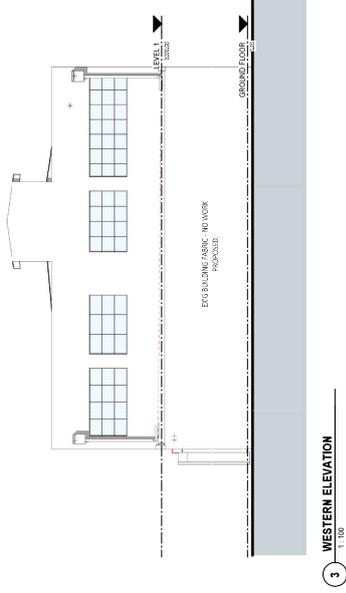




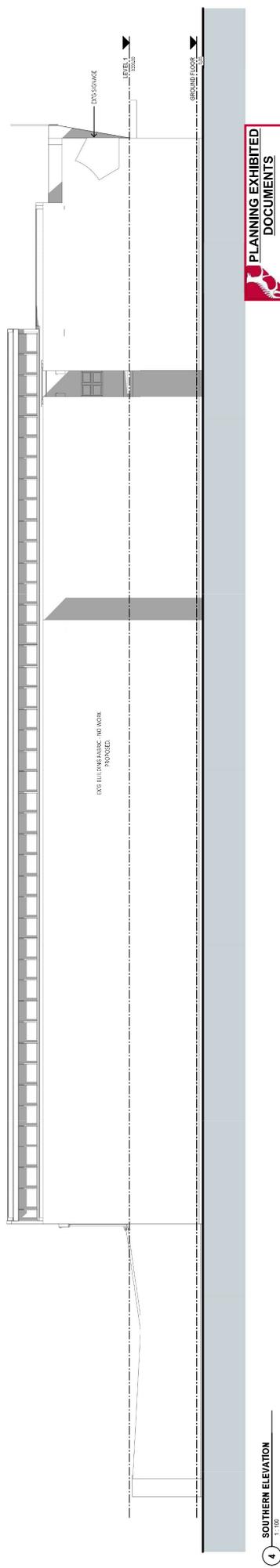
1 NORTHERN ELEVATION  
1:100



2 EASTERN ELEVATION  
1:100



3 WESTERN ELEVATION  
1:100



4 SOUTHERN ELEVATION  
1:100

**PLANNING EXHIBITED DOCUMENTS**

Plot No: DA 0371/2023  
Date advertised: 02/09/2023

Planning Administration: *[Signature]*

This document is subject to copyright and its use is restricted by law. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of the copyright owner.





**S. Group**  
Level 1, 10-14 Paterson St, Launceston  
Level 1, 90-92 Murray St, Hobart  
PO Box 1271, Launceston, TAS 7250  
p 03 6311 1403 e info@sgroup.com.au  
abn 33 625 566 618 sgroup.com.au

Town Planner  
Launceston City Council.

3<sup>rd</sup> August 2023

To whom it may concern,

**RE: Planning Application – multi tenancy for health related professionals, ground floor, 24 Wellington Street, Launceston.**

### Overview

I am writing on behalf of our client regarding the accompanying development application for the internal fit-out of the ground floor of 24 Wellington Street, Launceston.

This proposal is for premium workspaces designed for individuals or teams working in health related professional services providing a range of flexible co working membership options. It provides common amenities and a centralised reception, hotel like waiting area and lobby. Further facilities include a state of the art board room available to members through a booking service. This service is primarily aimed at health consultants, self employed professionals and corporate medical workers.

The functional programme consists of 6 consulting rooms, 3 minor procedures rooms, 2 corporate health offices and rooms for pathology alongside common amenities, waiting areas and a juice bar. The ground floor lobby is shared with the upstairs tenant soon to be Headspace Australia, previously approved under previous development and building approvals.

Currently, the ground floor of the property features an internal driveway and a garage at the rear. As part of the proposal, we intend to remove the roof over this garage, transforming the space into a functional area for use by the occupants of building. It's worth noting that the upper floor tenancy, which was previously approved under a separate application, is also dedicated to health services.

### Site

The site located at 24 Wellington St is zoned Urban Mixed-Use and permanently listed on the Commercial Property Heritage register. The previous use of the building was for manufacturing & processing, being the former location for the Regal Press. The existing building is a multi-tenancy building across two levels.



**PLANNING EXHIBITED DOCUMENTS**

Ref. No: DA 0371/2023  
Date advertised: 02/09/2023

Planning Administration *[Signature]*

This document is subject to copyright and is protected by law. In displaying this document on its website the Council grants website users a non-exclusive licence to reproduce the document in their web browser for the sole purpose of viewing the content. The Council reserves all other rights. Documents displayed on the Council's website are intended for public perusal only and should not be reproduced without the consent of the copyright owner.

**S. Group**  
Level 1, 10-14 Paterson St, Launceston  
Level 1, 90-92 Murray St, Hobart  
PO Box 1271, Launceston, TAS 7250  
p 03 6311 1403 e info@sgroup.com.au  
abn 33 625 566 618 sgroup.com.au

## Proposal

Our proposal is for the fit-out for consulting rooms, a treatment room & offices and amenities ancillary to these spaces. As well as, the public foyer shared between the upper floor tenancy and ground floor tenancy. **This is permitted under the Tasmanian Planning Scheme (TPS) within the Urban Mixed-Use Zone as the Business & Professional use.**

There is an existing garage at the rear capable of fitting 5 cars, which will remain. However, the roof which is under disrepair will be removed and surrounding walls to be structurally remediated in consultation with a structural engineer.

## Planning

### C2.0 Parking & Sustainable Transport Code.

The existing garage on the ground floor of the building at 24 Wellington street is capable of fitting 5 cars.

The attached plans identify at least 5 publically available carparking lots within a 200m radius of 24 Wellington St. These are within reasonable walking distance to the proposed development.

## Conclusion

Overall the new facilities aim to deliver access to a wide variety of health services close to the Launceston CBD for a range of health professionals on a 24 hour basis. Should any additional information be required please do not hesitate to contact S. Group.

Yours Sincerely,

**Jonathan Buist**

Registered Architect



## Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	DA0371/2023	<b>Council notice date</b>	30/08/2023
<b>TasWater details</b>			
<b>TasWater Reference No.</b>	TWDA 2023/01192-LCC	<b>Date of response</b>	20/09/2023
<b>TasWater Contact</b>	Rachael Towns	<b>Phone No.</b>	0436 615 228
<b>Response issued to</b>			
<b>Council name</b>	CITY OF LAUNCESTON		
<b>Contact details</b>	Planning.Admin@launceston.tas.gov.au		
<b>Development details</b>			
<b>Address</b>	24 WELLINGTON ST, LAUNCESTON	<b>Property ID (PID)</b>	6683850
<b>Description of development</b>	Change of use to consulting rooms. Alterations and additions to existing building		
<b>Schedule of drawings/documents</b>			
	<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>
	S. Group	J008474 Dwg A002	14/07/2023
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.</li> <li>2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>3. Prior to use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>DEVELOPER CHARGES</b></p> <ol style="list-style-type: none"> <li>4. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$13,521.87 to TasWater for water and sewerage infrastructure for additional Equivalent Tenements (2.648 for Water &amp; 5.048 for Sewer), indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.</li> </ol> <p><b>TRADE WASTE</b></p> <ol style="list-style-type: none"> <li>5. Prior to the commencement of operation the developer/property owner must obtain Consent to discharge Trade Waste from TasWater.</li> <li>6. The developer must install appropriately sized and suitable pre-treatment devices prior to gaining Consent to discharge.</li> <li>7. The Developer/property owner must comply with all TasWater conditions prescribed in the Trade Waste Consent.</li> </ol>			

## DEVELOPMENT ASSESSMENT FEES

8. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

## Advice

### General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

### Developer Charges

For information on Developer Charges please visit the following webpage - <https://www.taswater.com.au/building-and-development/developer-charges>

### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

**NOTE:** In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and  
(b) installing a meter.

### Trade waste

Prior to any Building and/or Plumbing work being undertaken, the applicant will need to make an application to TasWater for a Certificate for Certifiable Work (Building and/or Plumbing). The Certificate for Certifiable Work (Building and/or Plumbing) must accompany all documentation submitted to Council. Documentation must include a floor and site plan with:

Location of all pre-treatment devices i.e. Non-bypassable basket arrestors;  
Schematic drawings and specification (including the size and type) of any proposed pre-treatment device and drainage design; and  
Location of an accessible sampling point in accordance with the TasWater Trade Waste Flow Meter and Sampling Specifications for sampling discharge.  
Details of the proposed use of the premises, including the types of food that will be prepared and served; and

The estimated number of patrons and/or meals on a daily basis.

At the time of submitting the Certificate for Certifiable Work (Building and/or Plumbing) a Trade Waste Application form is also required.

If the nature of the business changes or the business is sold, TasWater is required to be informed in order

to review the pre-treatment assessment.

The application forms are available at <http://www.taswater.com.au/Customers/Liquid-Trade-waste/Commercial>

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au