

DEVELOPMENT APPLICATION

PROJECT INFORMATION
30/08/2023

- LAUNCESTON CITY COUNCIL
- LOW DENSITY RESIDENTIAL ZONING
- SCENIC MANAGEMENT AREA

BUILDING AREAS

AREA SCHEDULE (Gross Building)			
Name	Area	Area	Perimeter
GROUND FLOOR	221.94	73680	
LEVEL 1	171.04	62636	
DECK	108.93	74501	
GARAGE	71.55	34350	
ANCILLARY DWELLING	59.91	32531	
POOL DECK	44.36	39958	
POOL	39.99	27997	
TOTAL AREA	717.72		

TOTAL TITLE AREA: 2083 m2
TITLE AREA EXCLUDING ACCESS STRIP: 1281 m2
ROOFED BUILDINGS AREA: 463.33 m2

38.1% SITE COVERAGE

BUILDING DESIGNER: JO WOODBURY
ACCREDITATION NO: 55173946
DESIGN REFERENCE NUMBER: CT11337756
DESIGNER: REFER ENG
SOIL CLASSIFICATION: 7
CLIMATE ZONE: TBC
BUSHFIRE-PRONE BAL RATING: BAL
ALPINE AREA: MED
CORROSION ENVIRONMENT: NO
FLOODING: NO
LANDSLIP: NO
DISPERSIVE SOILS: UNKNOWN
SALINE SOILS: UNKNOWN
SAND DUNES: UNKNOWN
MINE SUBSIDENCE: NO
COASTAL INUNDATION: NO
LANDFILL: NO
GROUND LEVEL AT KERB: REFER DWGS
GROUND LEVEL: REFER DWGS
FINISHED FLOOR LEVEL: REFER DWGS
OVERFLOW RELIEF GULLY LEVEL: MIN 150MM BELOW LOWEST FIXTURE

NOTES

these drawings are for permit approval purposes and additional information may be required to inform construction

drawings are subject to owner discretion.

contractors to verify all matters of specification, finish, selection and appearance with owner prior to commencing work and ensure work carried out is acceptable to owner, including design variation and alternatives.

drawings used for construction must carry building surveyor certification. Ensure there is only one version of construction dwgs being used.

contractors and prefabricators shall advise appropriately any omission, apparent error, anomaly or uncertainty of all documents applicable to this construction.

builder and subcontractors to verify dimensions and levels on site prior to commencing work and ordering.



WOODBURY & CO
BUILDING DESIGN

Jo Woodbury.
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Email: jo@woodburycoco.com.au
www.woodburycoco.com.au

104A PEEL STREET WEST - WEST LAUNCESTON

NEW DWELLING + ANCILLARY DWELLING AND POOL

LEAH PAGE



DRAWING SHEETS

Sheet	Drawing	Current Revision	Current Revision Date
A001	TITLE SHEET		
A002	MATERIAL NOTES		
A100	LOCATION PLAN		
A101	SITE PLAN	1	Date 1
A102	FLOOR PLAN		
A103	LEVEL 01 PLAN		
A110	SHADOW DIAGRAM 21ST JUNE		
A201	ELEVATIONS		
A202	ELEVATIONS		
A301	3D VISUALS		
A302	3D VISUALS		
A303	3D VISUALS		
B101	ANCILLARY DWELLING FLOOR PLAN		
B201	ANCILLARY DWELLING ELEVATIONS		
B202	ANCILLARY DWELLING ELEVATIONS		

Soil & Water Management Strategies

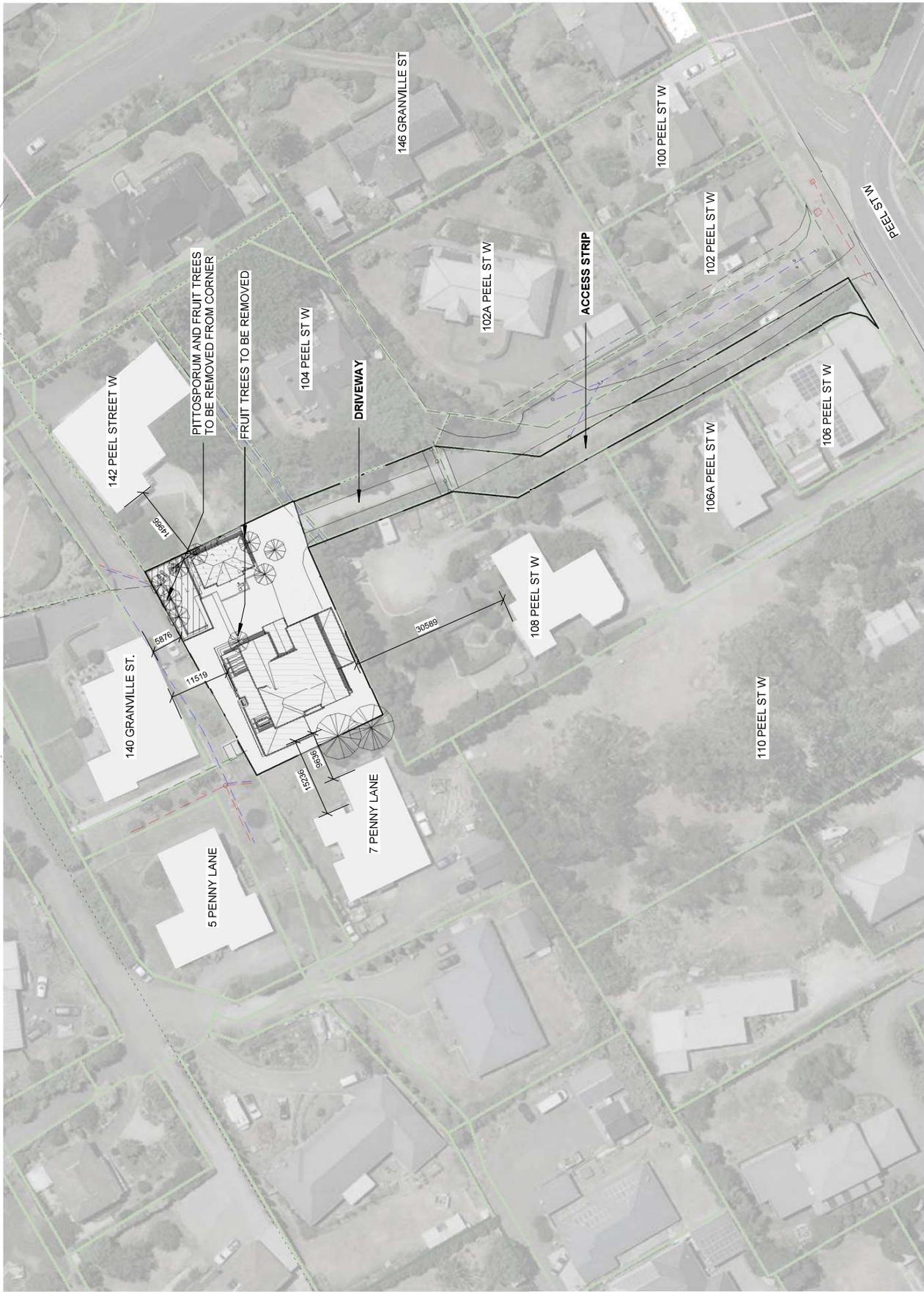
Downpipes to be connected into water tank as soon as the roof is installed.
 Install AG drain prior to footing excavation. See drawing A10 Ground Floor Drainage Plan for location.
 Excavated material placed up-slope of AG drain. To be removed when building works are complete and installed in a suitable container for removal from site. Construction vehicles to be parked on the street or the driveway once concreted to prevent transferring debris onto Street.

Protection Work

(Section 121 of the Building Act)
 If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining owner to be notified using Form 6 (Building and Protection Work Notice) by the Building Surveyor.
 Contour interval = 0.5 metre



PLANNING EXHIBITED DOCUMENTS
 Ref. No: DA 028652023
 Date: 02/09/2023
 Planning Administration: *[Signature]*
For more information on the planning process, please visit the Council website at www.woodburyandco.com.au. This document is for information only and does not constitute an offer of any financial product or service.



LOCATION PLAN

1 : 750

WOODBURY & CO
 BUILDING DESIGN
 Phone 0407 319 437
 28 Denton Road West Launceston TAS 7250
 woodburyandco.com.au



Client:	LEAH PAGE
Project:	NEW DWELLING
at	104A PEEL STREET WEST - WEST LAUNCESTON 7250

Project No:	LP2021
Drawn By:	Jo Woodbury
Accreditation No.:	551573943
Drawing Title:	LOCATION PLAN
Date:	AUG 2023
Scale:	1 : 750

Sheet No.:	A100
Date:	30/08/2023 11:54:30 AM

AREA SCHEDULE (Gross Building)

Name	Area	Perimeter
GROUND FLOOR	221.94	73680
LEVEL 1	171.04	62636
DECK	108.93	74501
GARAGE	71.55	34350
ANCILLARY DWELLING	99.91	32531
POOL DECK	44.36	39958
POOL	39.99	27987
TOTAL AREA	717.72	

142 PEEL STREET WEST

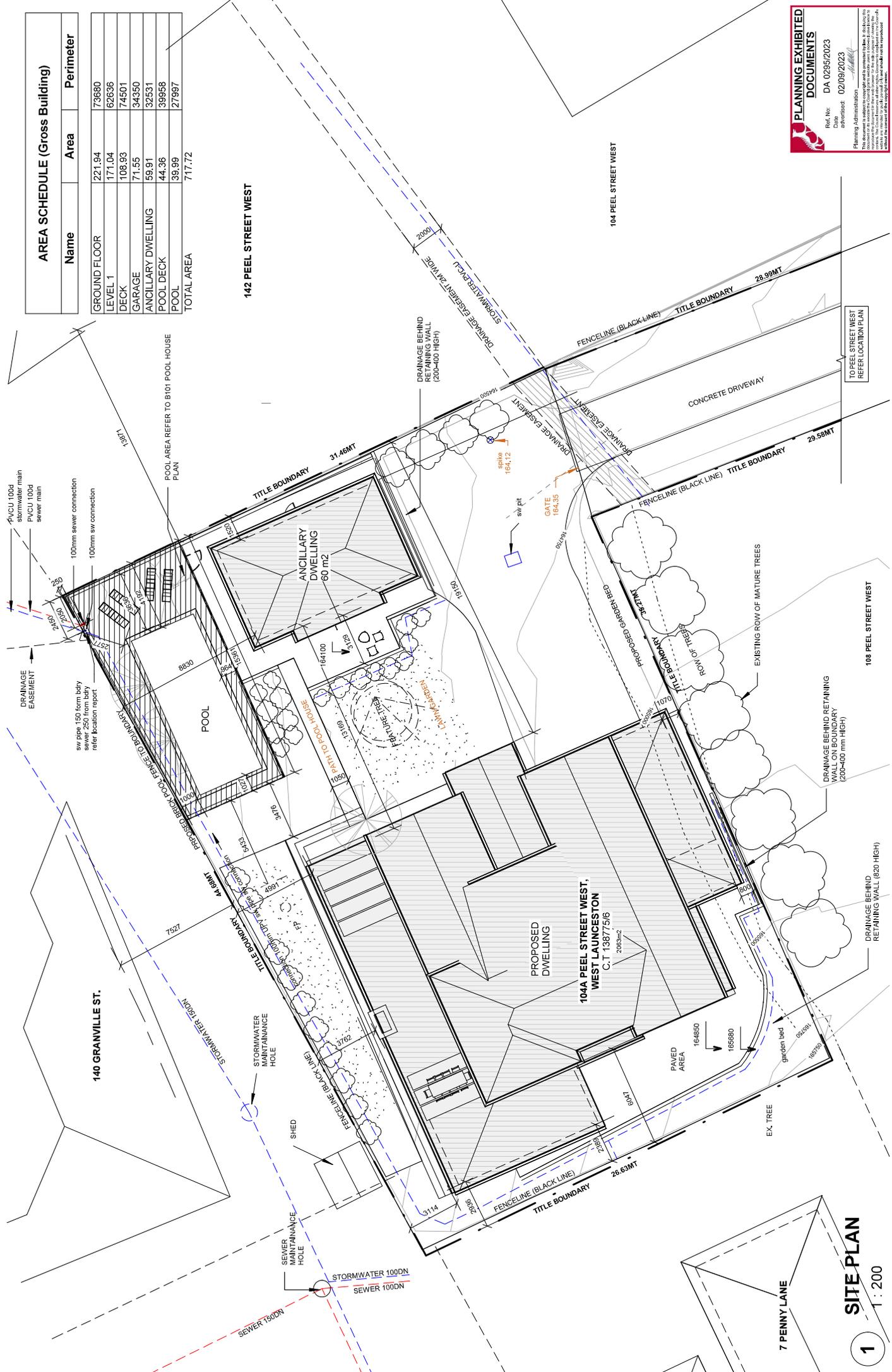
104 PEEL STREET WEST

140 GRANVILLE ST.

104A PEEL STREET WEST,
WEST LAUNCESTON
C.T 138775/6

7 PENNY LANE

1
SITE PLAN
1 : 200

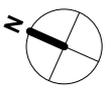


PLANNING EXHIBIT DOCUMENTS
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Project No: LP2021	Drawing Title	Sheet No:
	SITE PLAN	A101
Client:	Date:	Project No:
LEAH PAGE	14/08/2023	LP2021
Project:	at	Drawn By:
NEW DWELLING	104A PEEL STREET WEST - WEST LAUNCESTON 7250	Jo Woodbury
Revision 1	DATE:	Accreditation No.:
1		551573843
REV:	DESCRIPTION:	Scale:
		1 : 200

WOODBURY & CO
 BUILDING DESIGN
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 28 Denison Road West Launceston TAS 7250
 woodbury@woodburycobuilding.com.au

ROOM SCHEDULE		
Name	Area	Floor Finish
KITCHEN & DINING	49.09	FLOOR PLAN
RUMPUS	19.77	FLOOR PLAN
PANTRY	10.67	FLOOR PLAN
LIVING	47.30	FLOOR PLAN
ENTRY & STAIR	27.00	FLOOR PLAN
GARAGE	68.39	FLOOR PLAN
LDRY	14.67	FLOOR PLAN
GUEST RM	16.59	FLOOR PLAN
ENSUITE	4.77	FLOOR PLAN
HALLWAY	12.53	FLOOR PLAN
POWER	3.16	FLOOR PLAN
CELLAR	4.25	FLOOR PLAN
MASTER BEDROOM	24.86	LEVEL01 PLAN
LANDING	28.08	LEVEL01 PLAN
ENSUITE 1	9.98	LEVEL01 PLAN
TOILET	1.99	LEVEL01 PLAN
BEDROOM 3	19.50	LEVEL01 PLAN
ENSUITE 3	7.67	LEVEL01 PLAN
STUDY RM	15.92	LEVEL01 PLAN
ENSUITE 2	7.67	LEVEL01 PLAN
BEDROOM 2	19.50	LEVEL01 PLAN
Robe	12.40	LEVEL01 PLAN



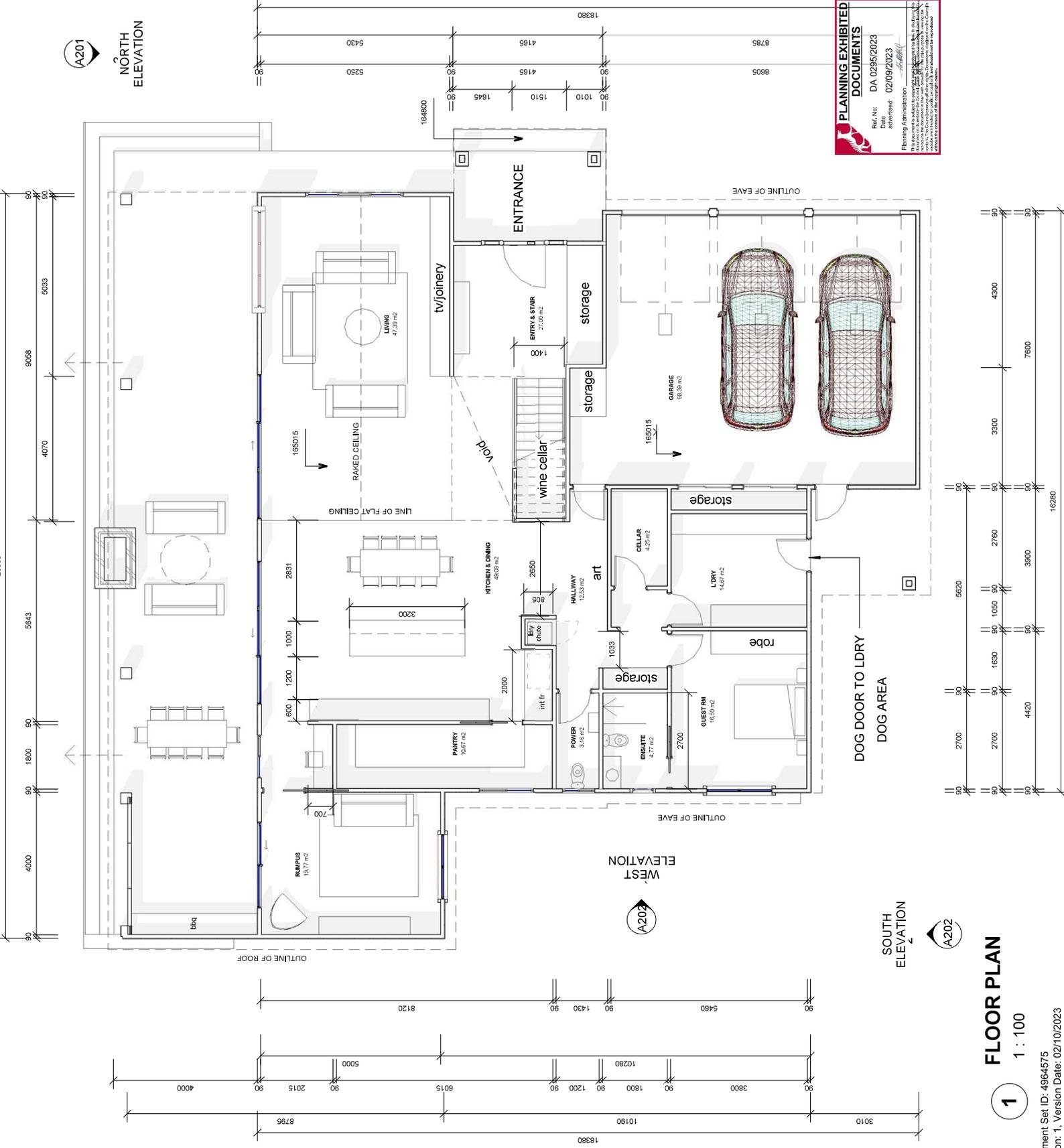
EAST ELEVATION
 PROJECT NEW DWELLING FOR LEAH PAGE
 LOCATION 104A PEEL STREET WEST - WEST LAUNCESTON 7250

DRAWING TITLE FLOOR PLAN
 DATE: AUG 2023 SCALE: 1 : 100
 SHEET NO: A102 PROJECT NO: LP2021



WOODBURY & CO BUILDING DESIGN
 Phone: 0437 319 437
 28 Davidson Road
 West Launceston TAS 7250
 jo@woodburyco.com.au
 Jo Woodbury LICENSE No 551573943

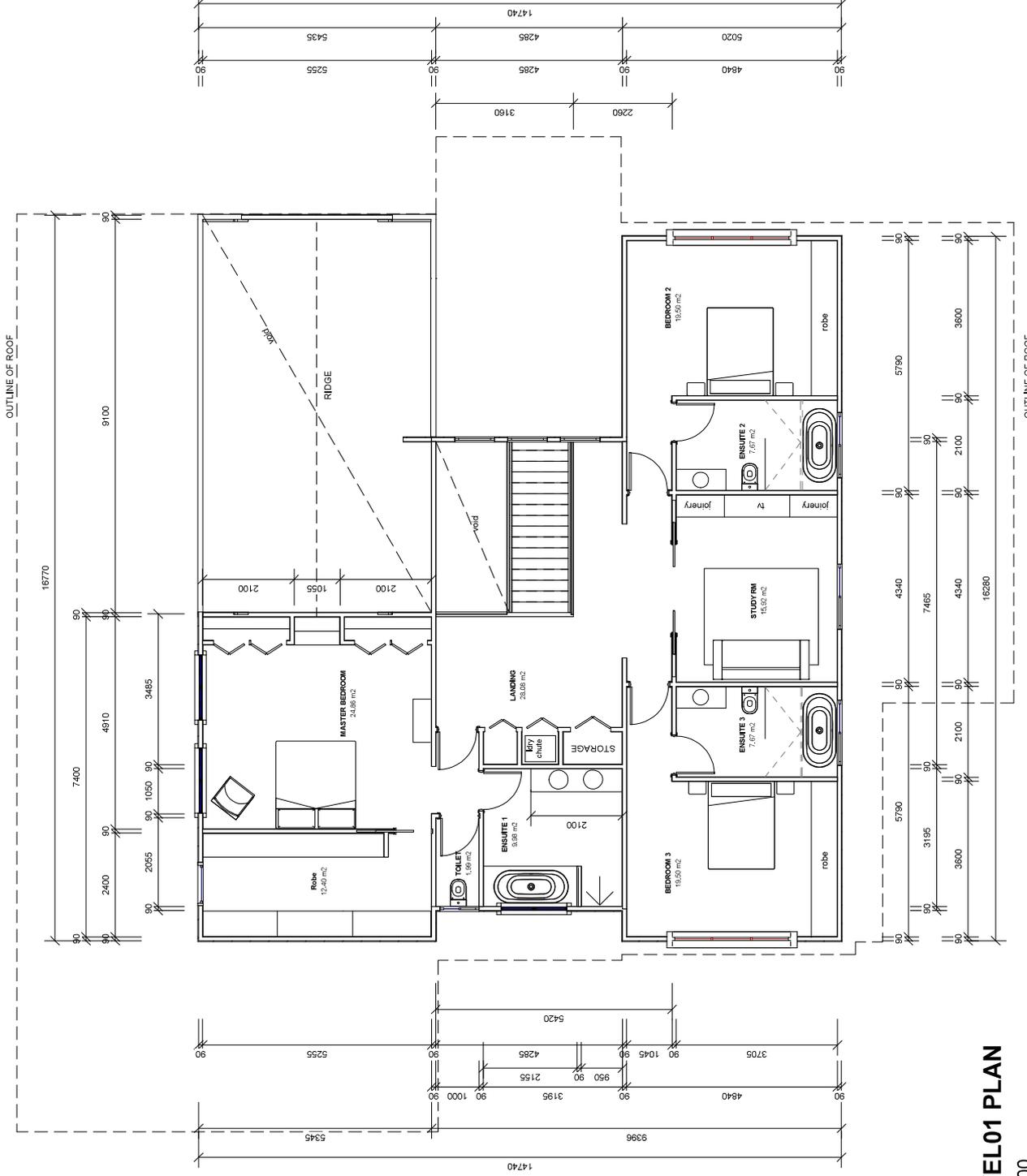
REVISIONS
DATE



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 Planning Administration
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FLOOR PLAN
 1 : 100

ROOM SCHEDULE			
Name	Area	Floor Finish	Level
KITCHEN & DINING	49.09		FLOOR PLAN
RUMPUS	19.77		FLOOR PLAN
PANTRY	10.67		FLOOR PLAN
LIVING	47.30		FLOOR PLAN
ENTRY & STAIR	27.00		FLOOR PLAN
GARAGE	66.39		FLOOR PLAN
L'DRY	14.67		FLOOR PLAN
GUEST RM	16.59		FLOOR PLAN
ENSUITE	4.77		FLOOR PLAN
HALLWAY	12.53		FLOOR PLAN
POWER	3.16		FLOOR PLAN
CELLAR	4.25		FLOOR PLAN
MASTER BEDROOM	24.86		LEVEL01 PLAN
LANDING	28.08		LEVEL01 PLAN
ENSUITE 1	9.98		LEVEL01 PLAN
TOILET	1.99		LEVEL01 PLAN
BEDROOM 3	19.50		LEVEL01 PLAN
ENSUITE 3	7.67		LEVEL01 PLAN
STUDY RM	15.92		LEVEL01 PLAN
ENSUITE 2	7.67		LEVEL01 PLAN
BEDROOM 2	19.50		LEVEL01 PLAN
Robe	12.40		LEVEL01 PLAN



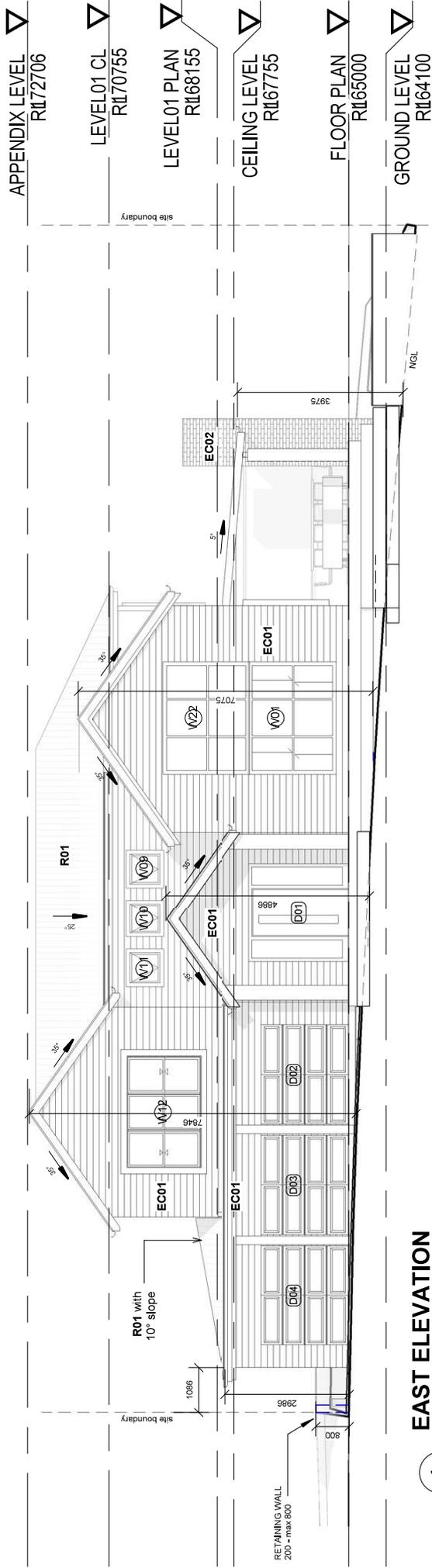
LEVEL 01 PLAN

1 : 100

1



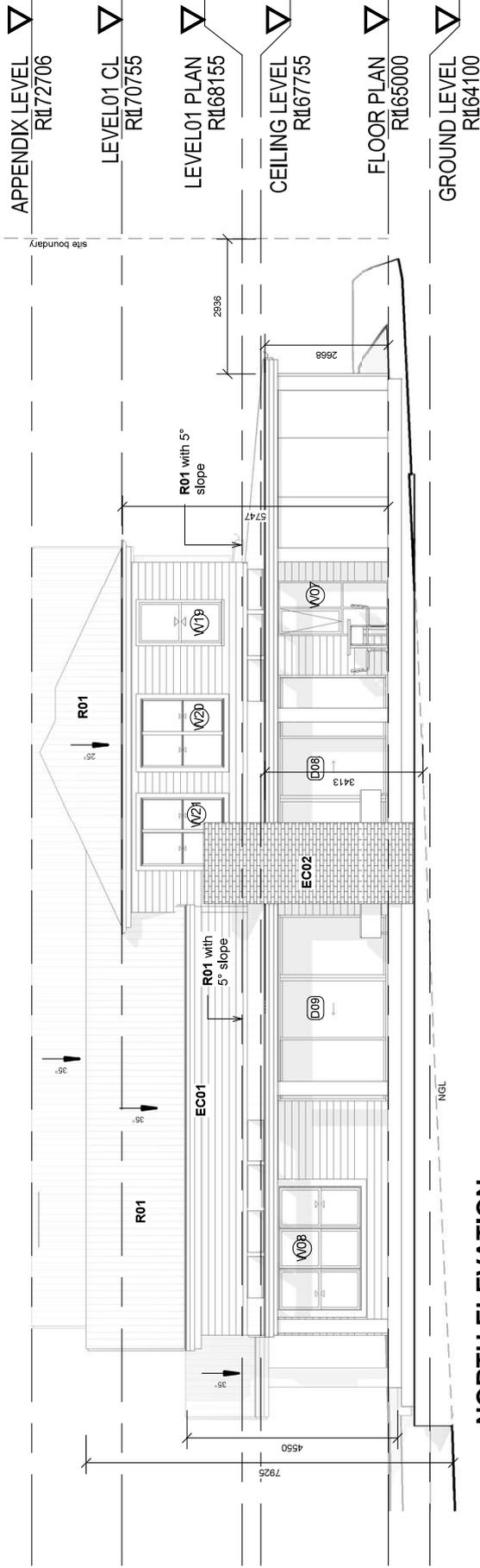
<p>WOODBURY & CO BUILDING DESIGN Phone 0407 319 437 28 Denton Road West Launceston TAS 7250 www.woodburyandco.com.au</p>	<p>Client: LEAH PAGE</p> <p>Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250</p>	<p>Project No: LP2021</p> <p>Drawn By: Jo Woodbury</p> <p>Accreditation No. 551573943</p>	<p>Drawing Title: LEVEL 01 PLAN</p> <p>Date: AUG 2023</p> <p>Scale: 1 : 100</p>	<p>Sheet No: A103</p> <p>30/08/2023 11:54:34 AM</p>
	<p>REV: DESCRIPTION: DATE:</p>	<p>Project No: LP2021</p> <p>Drawn By: Jo Woodbury</p> <p>Accreditation No. 551573943</p>	<p>Drawing Title: LEVEL 01 PLAN</p> <p>Date: AUG 2023</p> <p>Scale: 1 : 100</p>	<p>Sheet No: A103</p> <p>30/08/2023 11:54:34 AM</p>



EAST ELEVATION

1 : 100

1



NORTH ELEVATION

1 : 100

2

ELEVATION LEGEND

EC01	James Hardie Linea weatherboard to be painted in white
EC02	Selected Brick
R01	Colourbond Custom Orb - 'Shale Grey' finish
G01	Colourbond 'Surfmist'
F01	Colourbond or hardwood fascia painted finish to match weatherboard - to be confirmed by owner

All proprietary products to be installed in accordance with manufacturers specification
Refer material notes for detailed information
Windows & doors - refer schedules

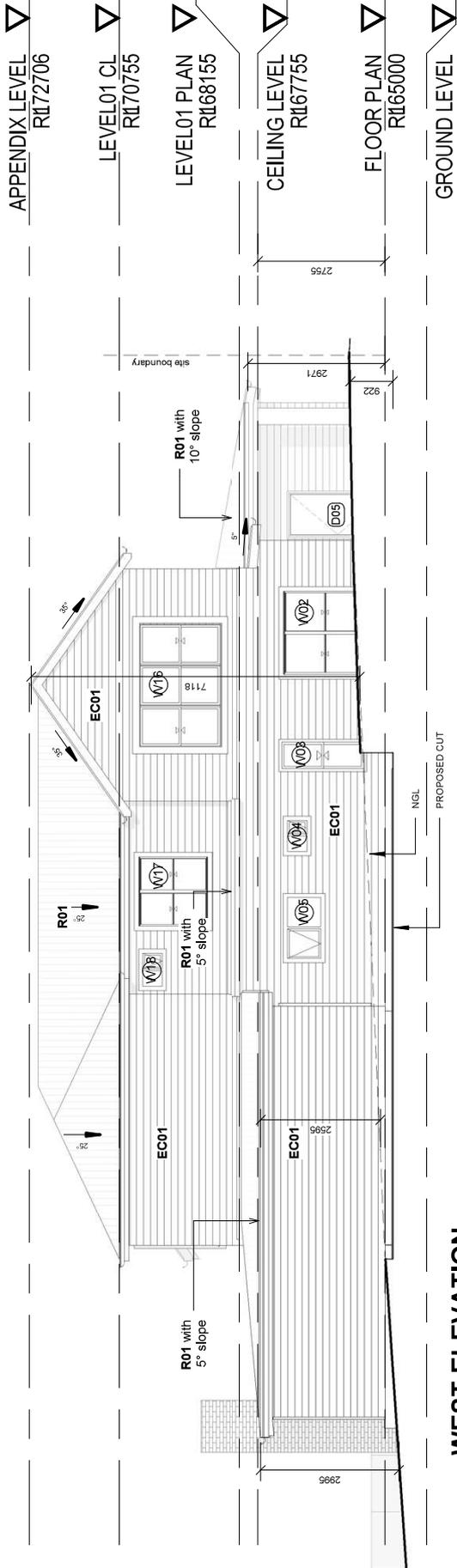
PLANNING EXHIBITED DOCUMENTS

Ref. No: DA 0285/2023
Date submitted: 02/09/2023

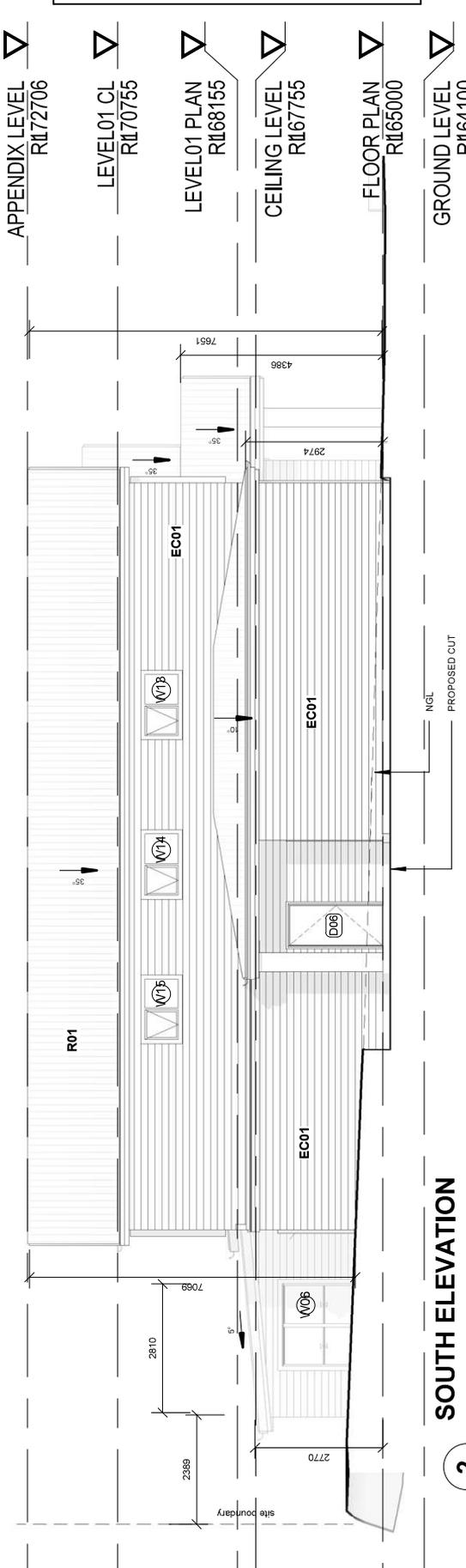
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<p>WOODBURY & CO BUILDING DESIGN Phone 0407 315 437 28 Denton Road West Launceston TAS 7250 woodburyandco.com.au</p>	Client: LEAH PAGE	Project No: LP2021	Drawing Title: ELEVATIONS	Sheet No: A201
	Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Drawn By: Jo Woodbury	Date: AUG 2023	30/08/2023 11:54:40 AM
REV: DESCRIPTION: DATE:	Accreditation No: 551573943	Scale: 1 : 100		



1
WEST ELEVATION
 1 : 100



2
SOUTH ELEVATION
 1 : 100

ELEVATION LEGEND

EC01	James Hardie Linea weatherboard to be painted in white
EC02	Selected Brick
R01	Colourbond Custom Orb - Shale Grey finish
G01	Colorbond 'Surfmist'
F01	Colorbond or hardwood fascia painted finish to match weatherboard - to be confirm by owner

All propriety products to be installed in accordance with manufacturers specifications
 Refer material notes for detailed information
 Windows & doors - refer schedules

 WOODBURY & CO BUILDING DESIGN Phone 0407 315 437 28 Delison Road West Launceston TAS 7250 info@woodburyandco.com.au	Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Client: LEAH PAGE	Project No: LP2021 Drawn By: Jo Woodbury Accreditation No: 551573943	Drawing Title: ELEVATIONS Date: AUG 2023 Scale: 1 : 100	Sheet No: A202 30/08/2023 11:54:42 AM
	REV: _____ DESCRIPTION: _____ DATE: _____	Document Set ID: 4964575 Version: 1, Version Date: 02/10/2023			

FLOOR FINISHES & NOTES	
FF01:	Overlay flooring - supply by owner.
FF02:	Tiles, supply by owner.
EXTERNAL PAVING BY OTHERS	

ROOM SCHEDULE		
Name	Area	Floor Finish
BATHROOM	4.11	FF02
STORAGE	1.82	FF02
KITCHEN + DINING	24.76	FF01
LIVING RM	24.82	FF01
BUNKS	Not Placed	FF01

AREA SCHEDULE (Gross Building)		
Name	Area	Perimeter
POOL	40.09	28047
ANCILLARY DWELLING	60.58	31720
DECK	48.63	41678
TOTAL AREA	149.29	

- General notes**
- Taken to framing where specified
 - Windows dimensioned to frames
 - Refer window & door schedule for further detail
 - Refer to drawing A005 for Stair notes

Wood Heater & Hearth

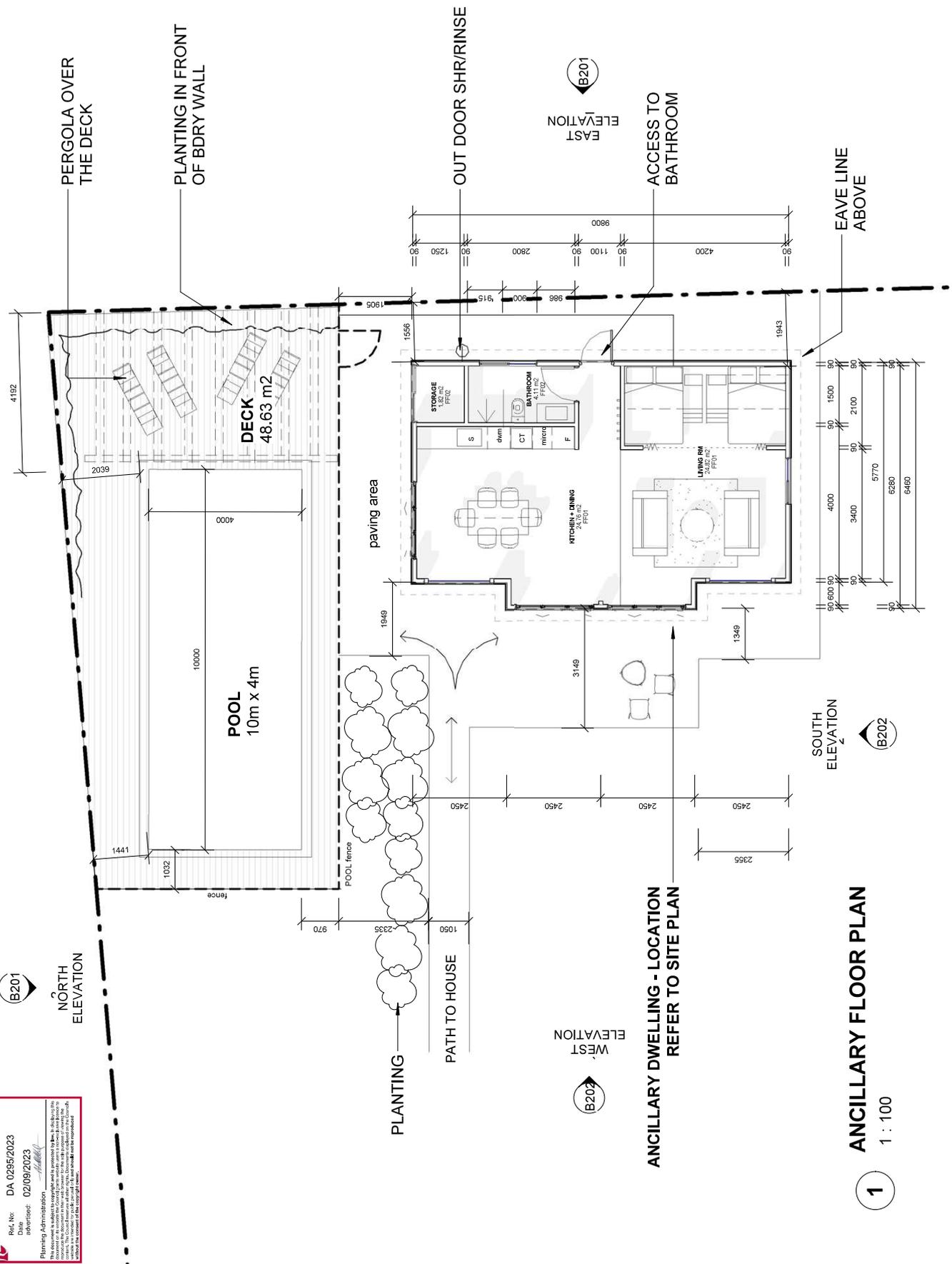
- Selected heater must be installed as per manufacturer's instructions. Clearances to walls specified within the ECA may be reduced if the appliance has a built-in heat shield and manufacturer's documentation can prove compliance with AS/NZS 2918. (Provide manufacturer's certification to Building Surveyor prior to appliance installation).

- Minimum 400mm clearance between triple glazing and heater.

- If heater manufacturer permits, a proprietary tile / slate hearth overlay may be used.

- Alternatively hearth can be constructed as follows: 150mm high hearth, with tiled top and side. Height achieved by laying 9mm compressed sheet over sheet flooring, concrete blocks (or bricks), mortar bed and selected tiles.

- The hearth must extend a minimum of 400mm beyond the front and the sides of the heater



ANCILLARY DWELLING - LOCATION REFER TO SITE PLAN

ANCILLARY FLOOR PLAN

1 : 100

<p>WOODBURY & CO BUILDING DESIGN 28 Denton Road West, Launceston TAS 7250 Phone 0407 319 437 Email woodbury@woodburycobuilding.com.au</p>	REVISION: 1 DESCRIPTION: Revision 1	DATE: Date 1		Client: LEAH PAGE Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Project No: LP2021 Drawn By: Jo Woodbury Accreditation No: 551573943	Drawing Title: ANCILLARY DWELLING FLOOR PLAN Date: AUG 2023 Scale: 1 : 100	Sheet No: B101 30/08/2023 11:48:14 AM
	<p>Version: 1, Version Date: 02/10/2023</p>						

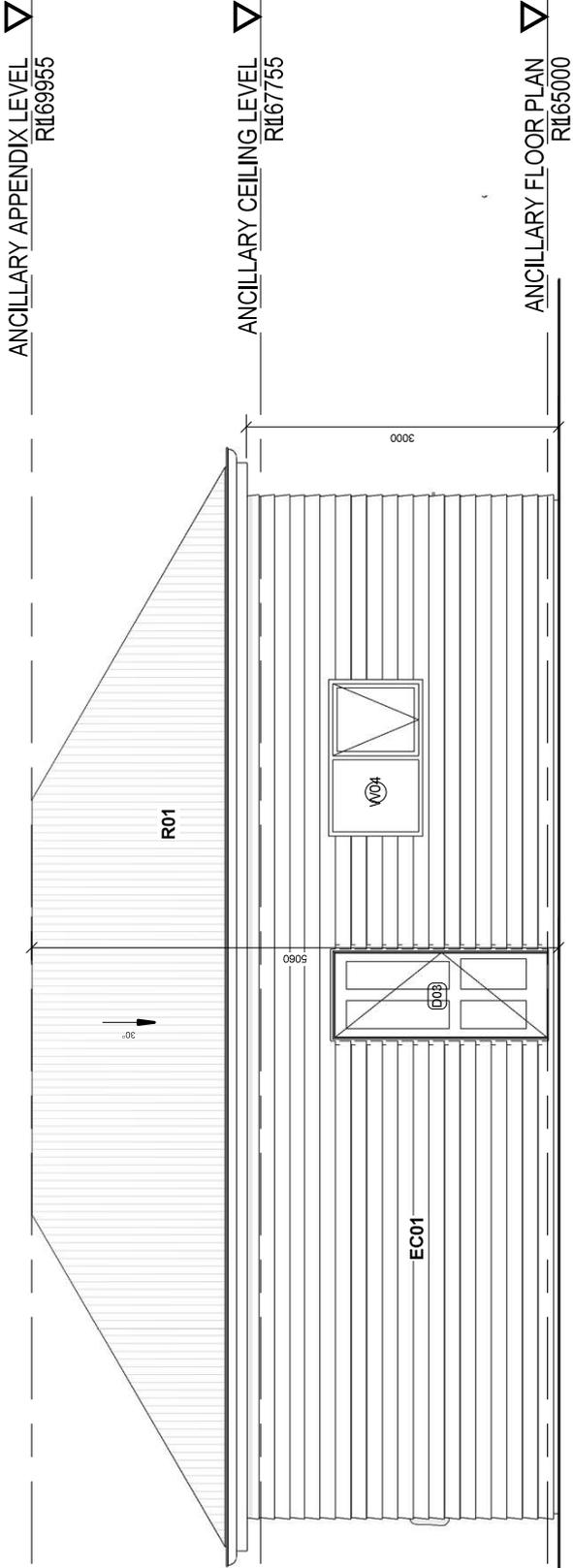
ELEVATION LEGEND

EC01	James Hardie Linea weatherboard to be painted in white
EC03	James Hardie 'easy lap' Vertical cladding with vertical timber battens
R01	Colourbond Custom Orb - 'Shale Grey' finish
G01	Colourbond 'Surfmist'
F01	Colourbond in Light Grey

All propriety products to be installed in accordance with manufacturers specification
 Refer material notes for detailed information
 Windows & doors - refer schedules

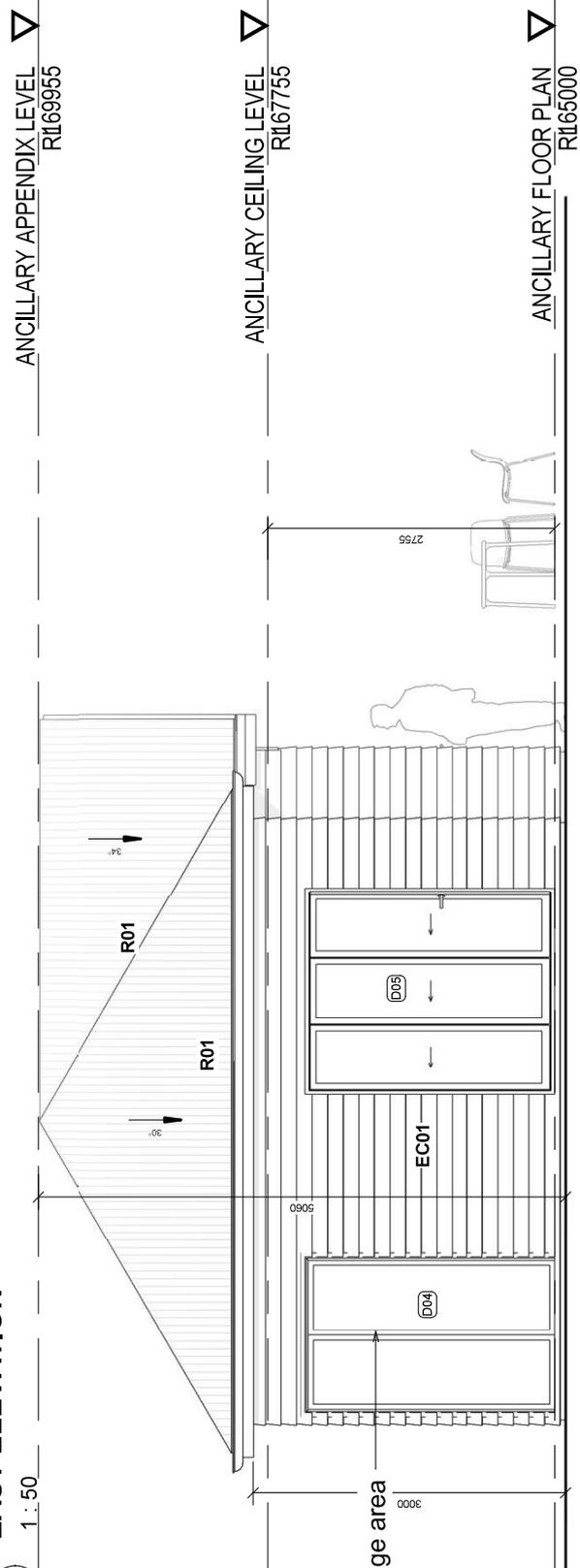
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 Planning Administration: *[Signature]*

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EAST ELEVATION

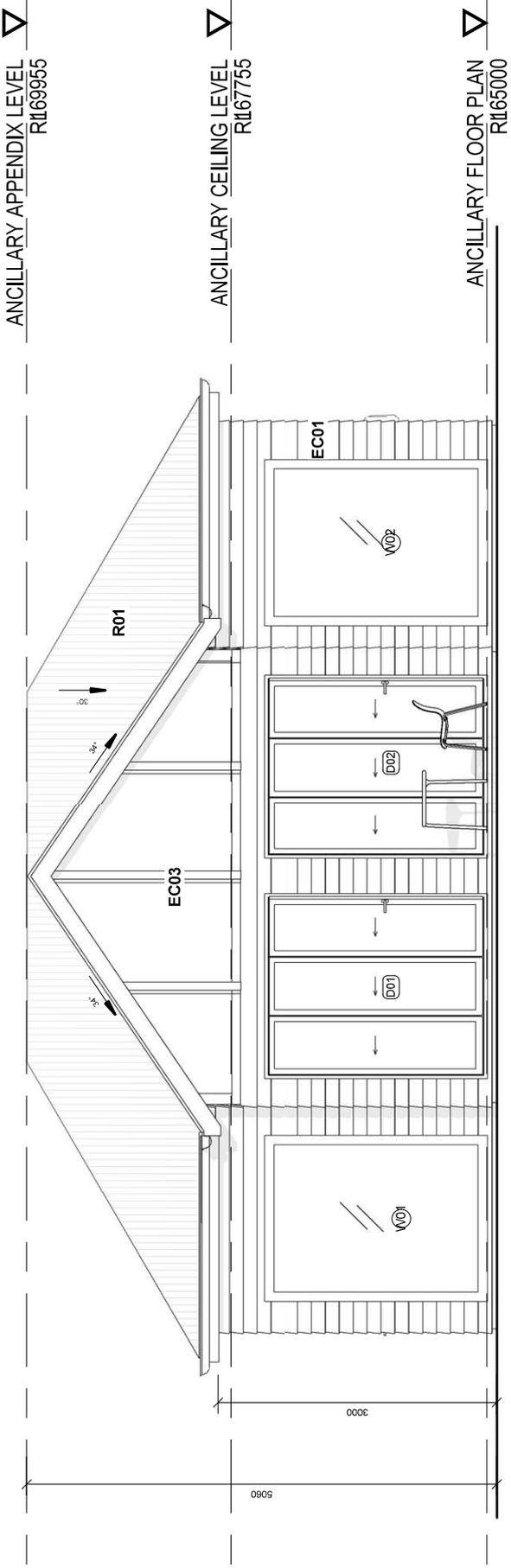
1 1 : 50



NORTH ELEVATION

2 1 : 50

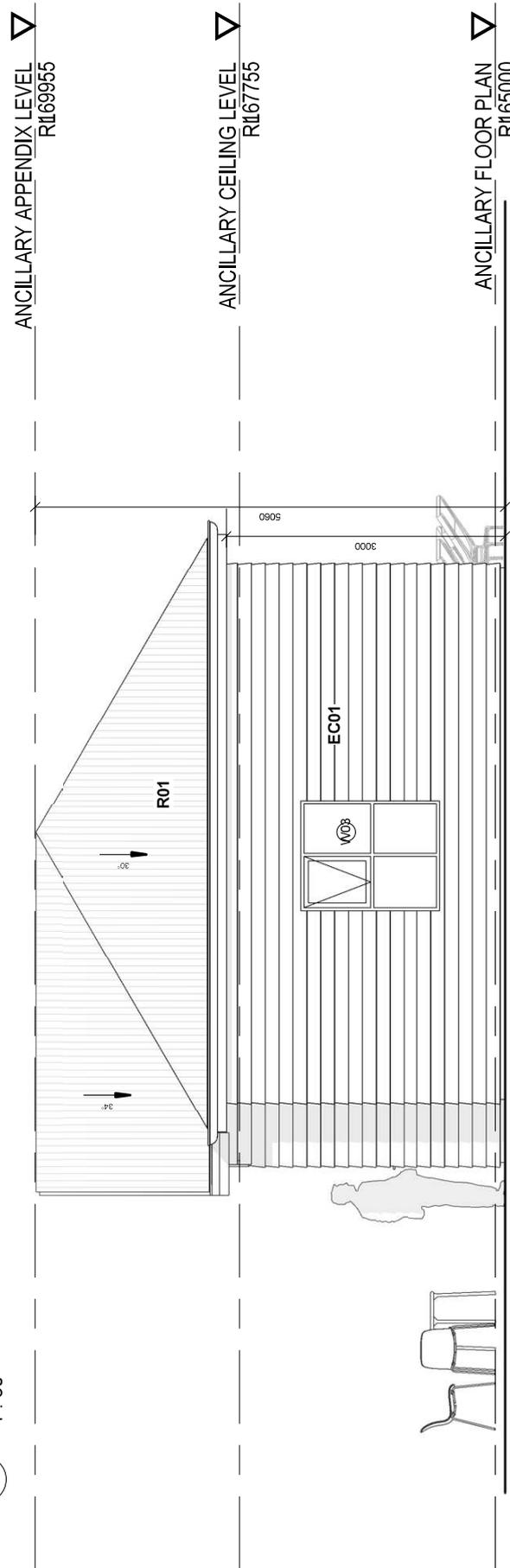
<p>WOODBURY & CO BUILDING DESIGN Phone 0407 315 437 28 Denton Road West Launceston TAS 7250 woodburyco.com.au</p>	REVISION: DESCRIPTION: DATE:	Client: LEAH PAGE Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250	Project No: LP2021 Drawn By: Jo Woodbury Accreditation No. 551573843	Drawing Title: ANCILLARY DWELLING ELEVATIONS Date: AUG 2023 Scale: 1 : 50	Sheet No: B201 30/08/2023 11:48:15 AM
	Document Set ID: 4964575 Version: 1, Version Date: 02/10/2023				



WEST ELEVATION

1 : 50

1



SOUTH ELEVATION

1 : 50

2

ANCILLARY APPENDIX LEVEL
R1169955

ANCILLARY CEILING LEVEL
R1167755

ANCILLARY FLOOR PLAN
R1165000

ANCILLARY APPENDIX LEVEL
R1169955

ANCILLARY CEILING LEVEL
R1167755

ANCILLARY FLOOR PLAN
R1165000

ELEVATION LEGEND

- EC01** James Hardie Linea weatherboard to be painted in white
 - EC03** James Hardie 'easy lap' Vertical cladding with vertical timber battens
 - R01** Colourbond Custom Orb - Shale Grey finish
 - G01** Colorbond 'Surfmist'
 - F01** Colorbond in Light Grey
- All proprietary products to be installed in accordance with manufacturers specification
Refer material notes for detailed information
Windows & doors - refer schedules

PLANNING EXHIBITED DOCUMENTS
 Ref. No. DA 0295/2023
 Date advised: 02/09/2023
 Planning Authorisation: *[Signature]*

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 <p>WOODBURY & CO BUILDING DESIGN 28 Denton Road West Launceston TAS 7250 Phone 0407 315 437 www.woodburyandco.com.au</p>	<p>REVISION:</p>	<p>DESCRIPTION:</p>	<p>DATE:</p>	<p>Client: LEAH PAGE Project: NEW DWELLING at 104A PEEL STREET WEST - WEST LAUNCESTON 7250</p>	<p>Project No: LP2021 Drawn By: Jo Woodbury Accreditation No. 551573843</p>	<p>Drawing Title ANCILLARY DWELLING ELEVATIONS Date: AUG 2023 Scale: 1 : 50</p>	<p>Sheet No: B202 30/08/2023 11:48:17 AM</p>
	<p>Document Set ID: 49644757 Version: 1, Version Date: 02/10/2023</p>						

Submission to Planning Authority Notice

Council Planning Permit No.	DA0295/2023	Council notice date	25/07/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00979-LCC	Date of response	29/08/2023
TasWater Contact	Jake Walley	Phone No.	0467 625 805
Response issued to			
Council name	CITY OF LAUNCESTON		
Contact details	Planning.Admin@launceston.tas.gov.au		
Development details			
Address	LOT 6 PEEL ST WEST, WEST LAUNCESTON	Property ID (PID)	9215555
Description of development	New dwelling, secondary residence and pool		
Schedule of drawings/documents			
	Prepared by	Drawing/document No.	Revision No.
	Woodbury & Co	LP2021 Sheet B105	1
	Woodbury & Co	LP2021 Sheet B106	--
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>56W CONSENT</p> <ol style="list-style-type: none"> 4. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the <i>Water and Sewerage Industry Act 2008</i> for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure. 5. A minimum 0.6m x 0.6m access door must be Installed on the deck over the sewer inspection opening to allow access to TasWater. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 6. The applicant or landowner as the case may be, must pay a development assessment fee of \$234.64 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. 			

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

56W Consent

The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;
- (b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;
- (c) A note on the plan indicating how the pipe location and depth were ascertained.
- (d) The location of the property service connection and sewer inspection opening (IO).

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au