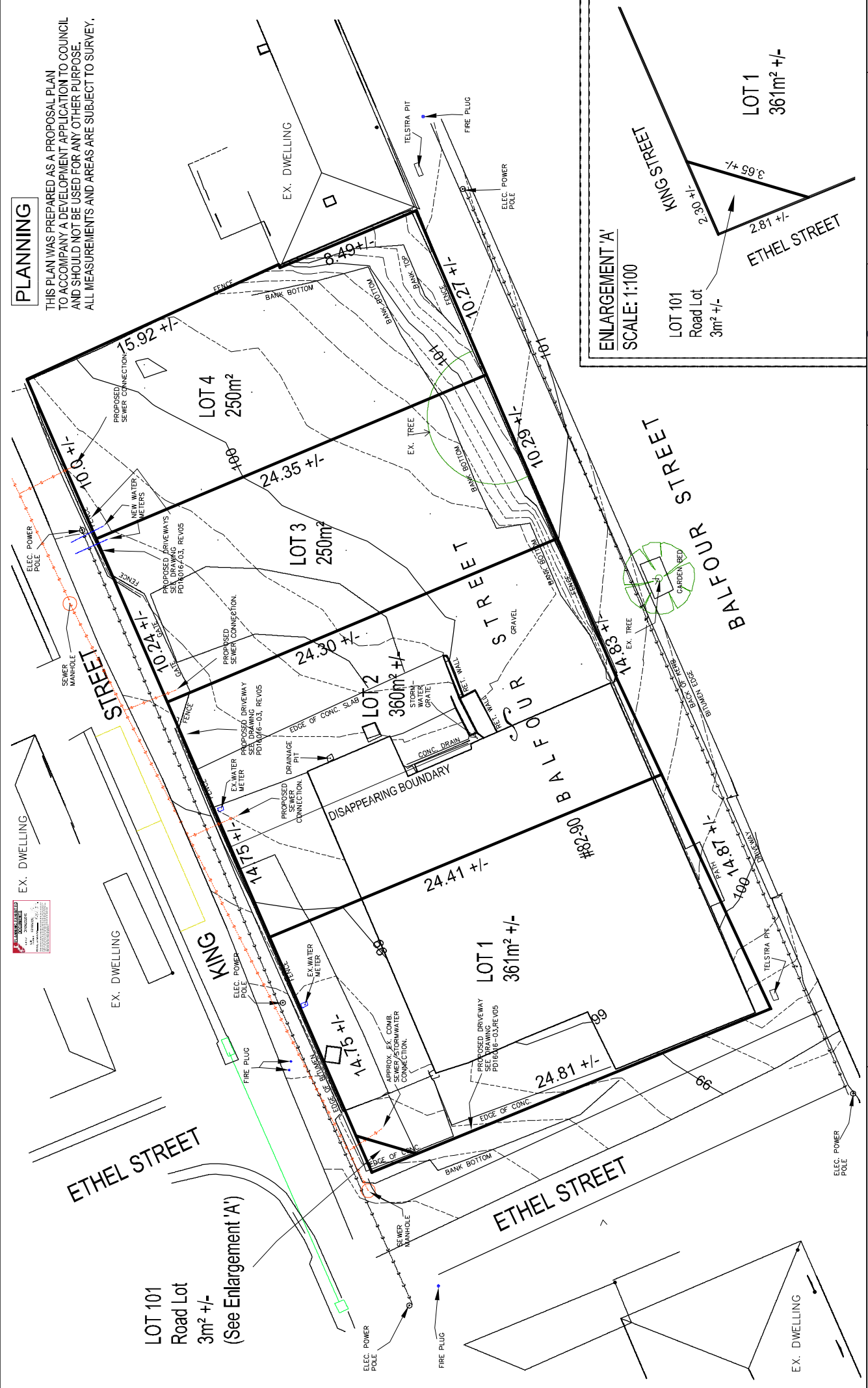
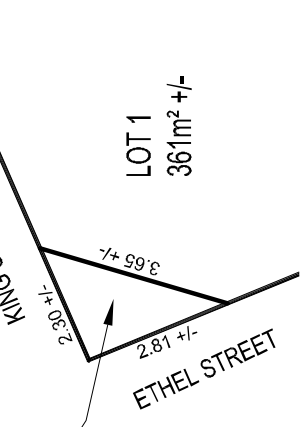


**PLANNING**

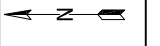
THIS PLAN WAS PREPARED AS A PROPOSAL PLAN TO ACCOMPANY A DEVELOPMENT APPLICATION TO COUNCIL AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. ALL MEASUREMENTS AND AREAS ARE SUBJECT TO SURVEY.



ENLARGEMENT 'A'  
SCALE: 1:100



Drawn	File name	Date	Scale	Sheet
CS	2016-60_PROP_PLAN_270516	27/05/2016	1:200@A3	1
Woolcott Surveys		10 Goodman Court Invermay TAS 7246 PO Box 656 Mowbray Heights TAS 7246 Phone (08) 6532 3760 Fax (08) 6532 3764 Email: admin@woolcottsurveys.com.au	Job Number	2016-60
Edition		1	1	

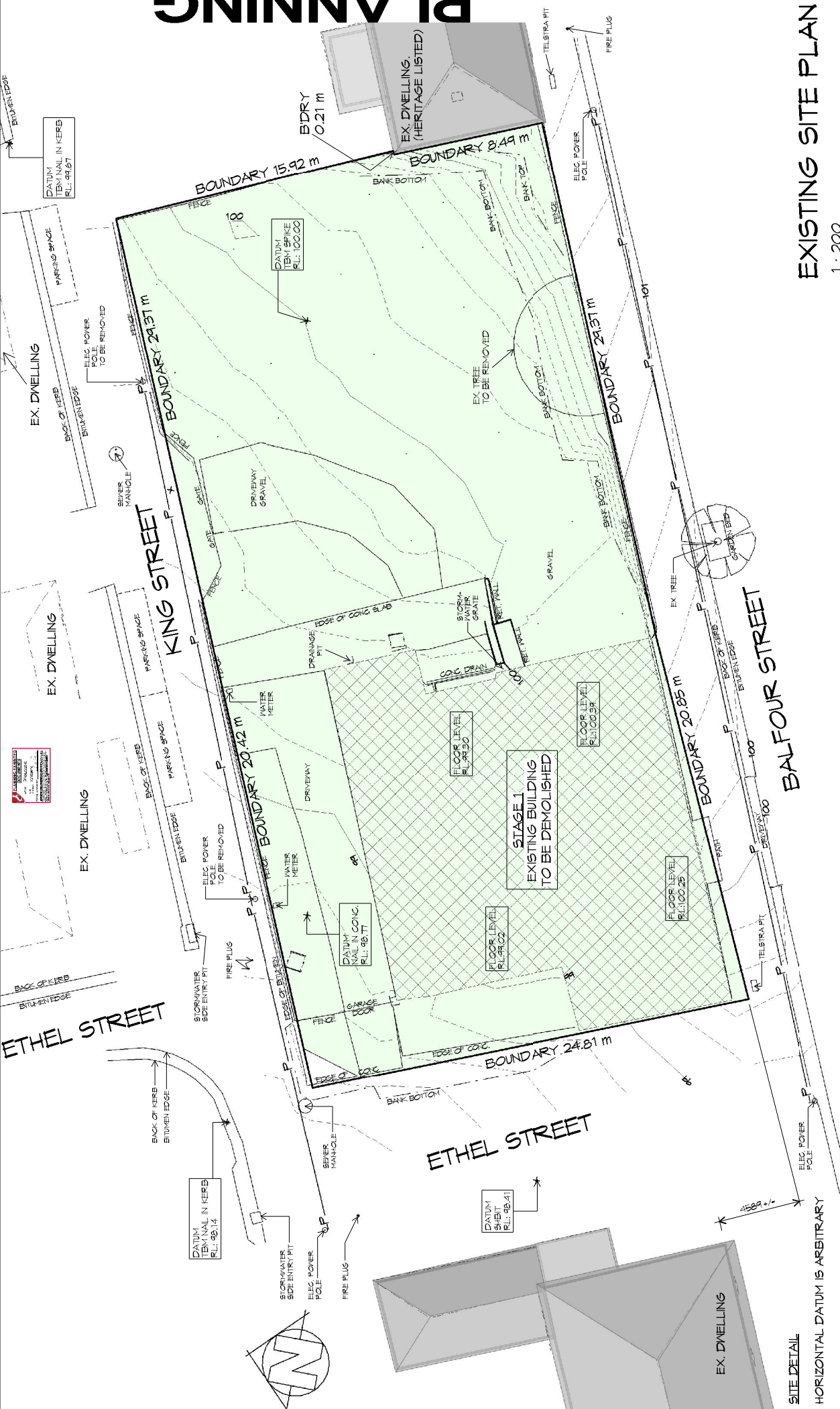


**PROPOSED 5 LOT SUBDIVISION FROM 2 TITLES**  
82-90 BALFOUR STREET, LAUNCESTON  
OWNERS: SHAUN ADRIAN BLEATHMAN, PHILLIP JOHN NEWMAN,  
AND DAVID CRAIG BURK  
C.T.28444-1 AND C.T.28444-2.

**NOTES:**  
1. ALL MEASUREMENTS AND AREAS  
2. CONTOUR INTERVAL IS 0.20 METRES.

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## EXISTING SITE PLAN

1 : 200

**PRIME DESIGN**  
 BUILDING DESIGN & PLANNING  
 Ph: 6332 3750 Fax: 6332 3788  
 info@primedesigntas.com.au  
 10 Goodman Court, Invermay TAS 7248  
 Accredited Building Practitioner  
 Frank Gekus - No CC246A

**Project:** PROPOSED SUBDIVISION  
 82-90 BALFOUR STREET,  
 LAUNCESTON

**Client name:** NEWMAN, BURK,  
 BLEATHMAN

**Drafted by:** A.V. **Approved By:** Approver

**Project/Drawing No:** PD16016-02

**Date:** 14/09/2016 **Scale:** 1 : 200

**Revised:** 05

**SITE DETAIL**  
 HORIZONTAL DATUM IS ARBITRARY  
 VERTICAL DATUM IS ARBITRARY

**WARNINGS:**  
 THE DETAIL SHOWN / RECORDED  
 • MAY ONLY BE CORRECT AT THE DATE OF SURVEY.  
 • IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.  
 • SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.  
 PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

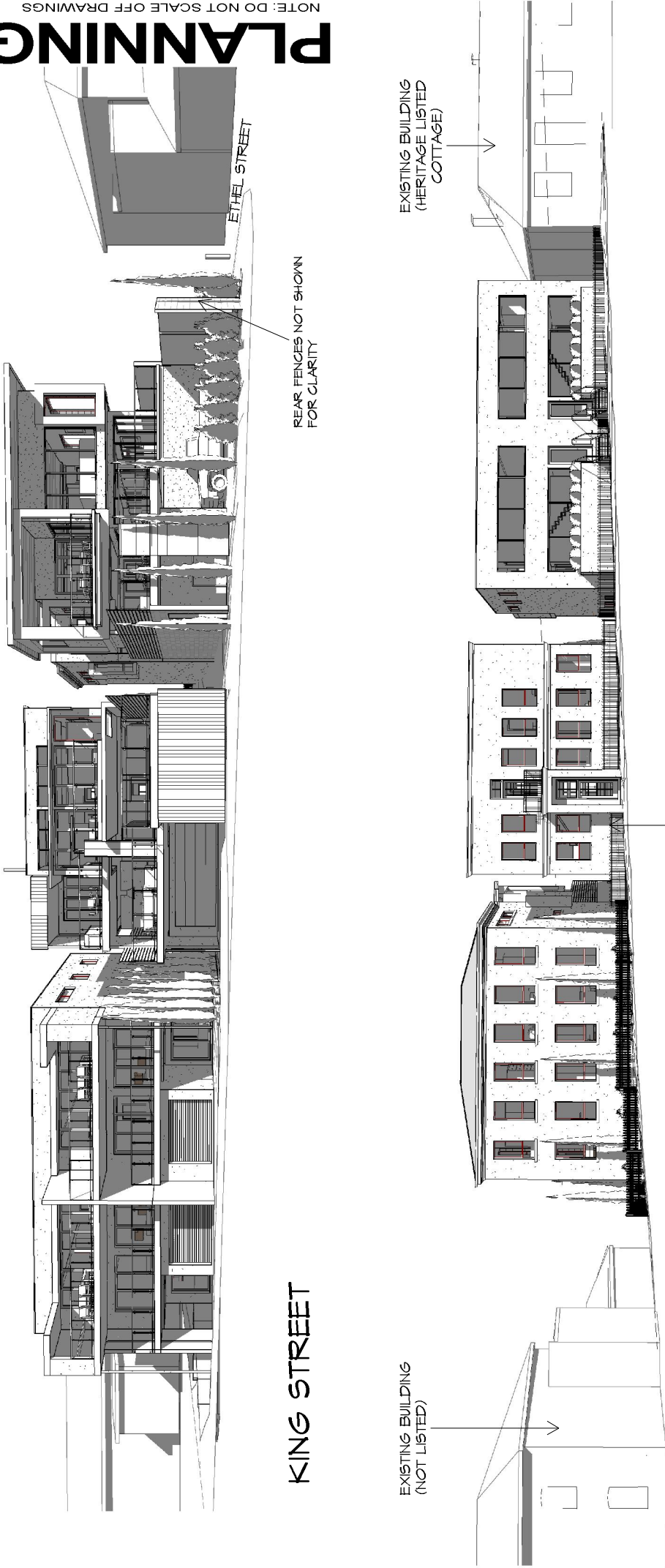






# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



KING STREET

ETHEL STREET

REAR FENCES NOT SHOWN FOR CLARITY

EXISTING BUILDING (NOT LISTED)

EXISTING BUILDING (HERITAGE LISTED COTTAGE)

600 HIGH POWDER COATED STEEL FENCE, NOT SHOWN FOR CLARITY, TYPICAL.

BALFOUR STREET



Ph: 6332 3750  
info@primedesigntas.com.au  
10 Goodman Court, Invermay TAS 7248  
Accredited Building Practitioner  
Frank Geskus - No CC246A

Project: PROPOSED SUBDIVISION  
82-90 BALFOUR STREET,  
LAUNCESTON

Client name:  
NEWMAN, BURK,  
BLEATHMAN

Drafted by:  
A.V.  
Approved By:  
Approver

Drawing: PERSPECTIVES

Date: 14/09/2016  
Scale: 1 : 100

Project/Drawing No:  
PD16016- 04

Revision:  
05





# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

## LEGEND

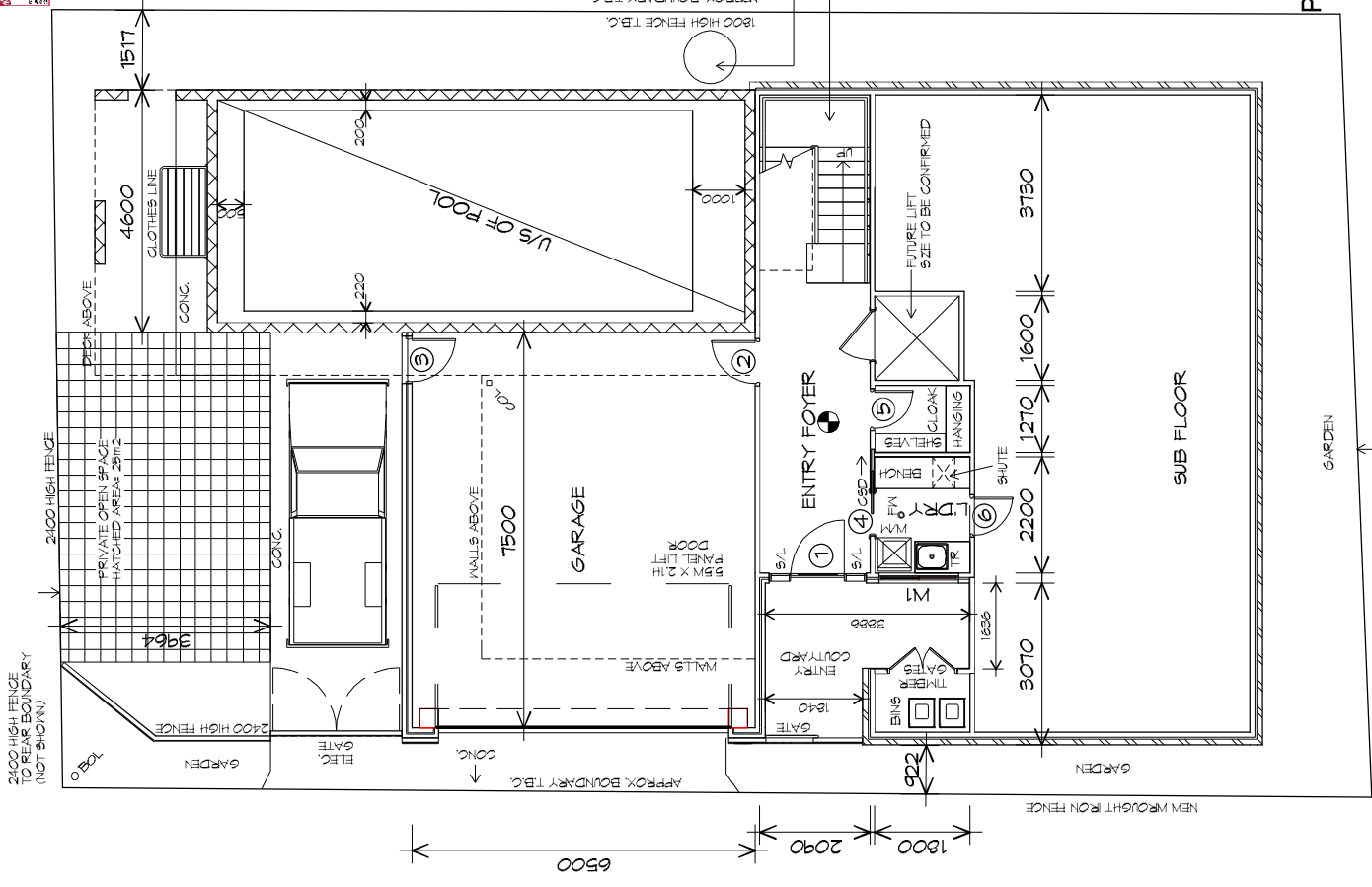
- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- F/W FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN

## GROUND FLOOR PLAN

1 : 100

UNDERSIDE OF POOL AREA	46.69	m <sup>2</sup>	(	5.02	SQUARES )
GROUND FLOOR PLAN AREA	84.76	m <sup>2</sup>	(	9.11	SQUARES )
FIRST FLOOR BALCONY/DECK/POOL AREA	95.48	m <sup>2</sup>	(	9.19	SQUARES )
FIRST FLOOR PLAN AREA	144.44	m <sup>2</sup>	(	15.53	SQUARES )
SECOND FLOOR PLAN AREA	165.56	m <sup>2</sup>	(	17.90	SQUARES )
SECOND FLOOR DECK AREA	23.40	m <sup>2</sup>	(	2.52	SQUARES )
TOTAL AREA	550.33			59.18	

NOTE: FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



**PRIME DESIGN**  
 BUILDING DESIGN & DRAWING  
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 info@primedesigntas.com.au  
 10 Goodman Court, Invermay TAS 7248  
 Accredited Building Practitioner  
 Frank Geskus - No CC246A

**PROJECT**  
 PROPOSED NEW RESIDENCE  
 (LOT 1) 82-90 BALFOUR STREET,  
 LAUNCESTON

**CLIENT NAME:**  
 S & S BLEATHMAN

**APPROVED BY:**  
 A.V. F.G.G.

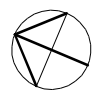
**DRAWING:**  
 GROUND FLOOR PLAN

**DATE:**  
 14/09/2016

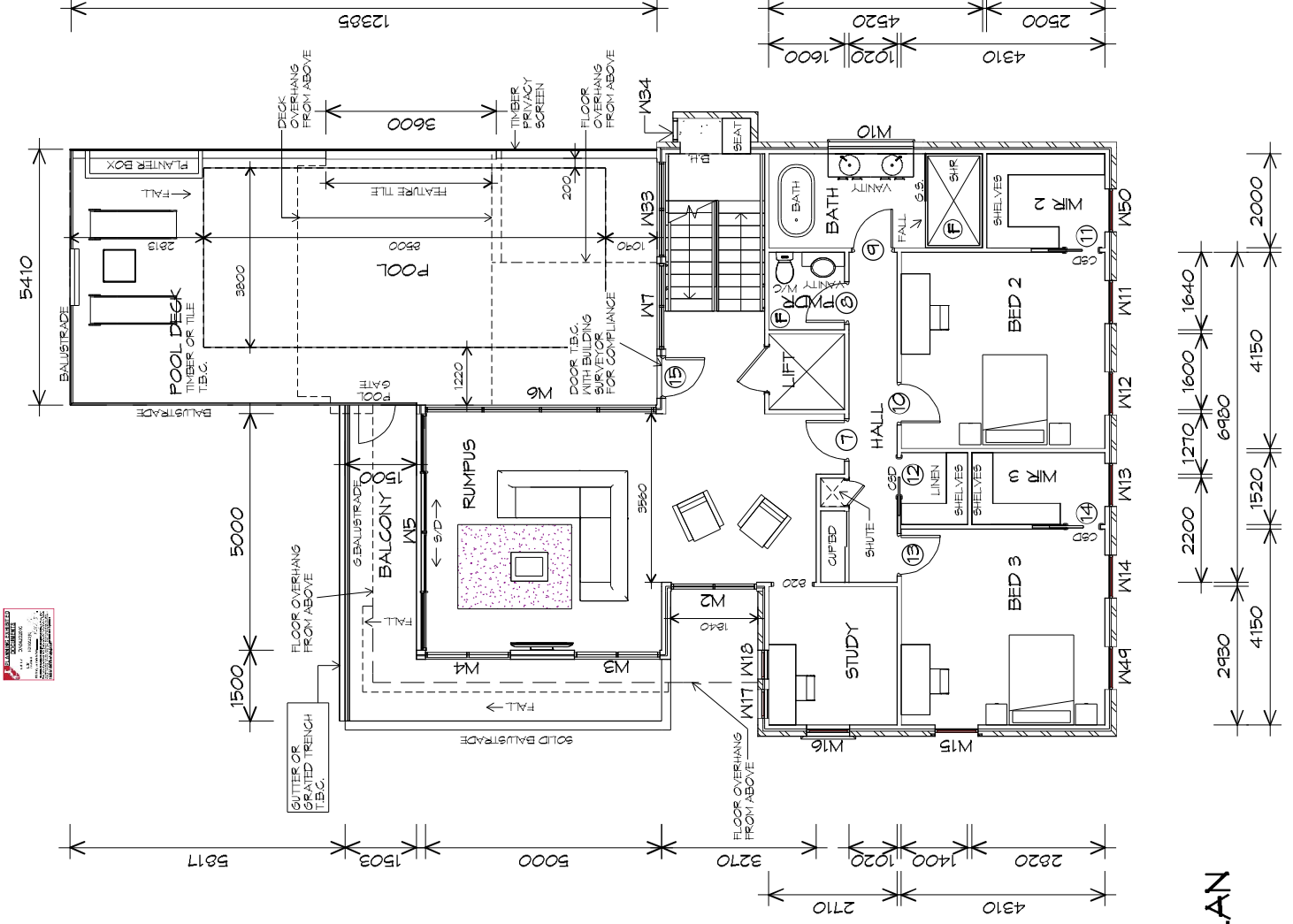
**SCALE:**  
 1 : 100

**PROJECT/DRAWING NO.:**  
 PD16007-01

**REVISION:**  
 05







# LEGEND

- ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓞ CAVITY SLIDING DOOR
- Ⓢ/D SLIDING DOOR
- ⓕ FLOOR WASTE
- Ⓢ/L SIDELIGHT
- Ⓞ COL
- Ⓢ.s. GLASS SCREEN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

**PRIME DESIGN**  
 BUILDING DESIGN & DRAFTING  
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 info@primedesign.com.au  
 10 Goodman Court, Invermay TAS 7248  
 Accredited Building Practitioner  
 Frank Gaskus - No CC246A

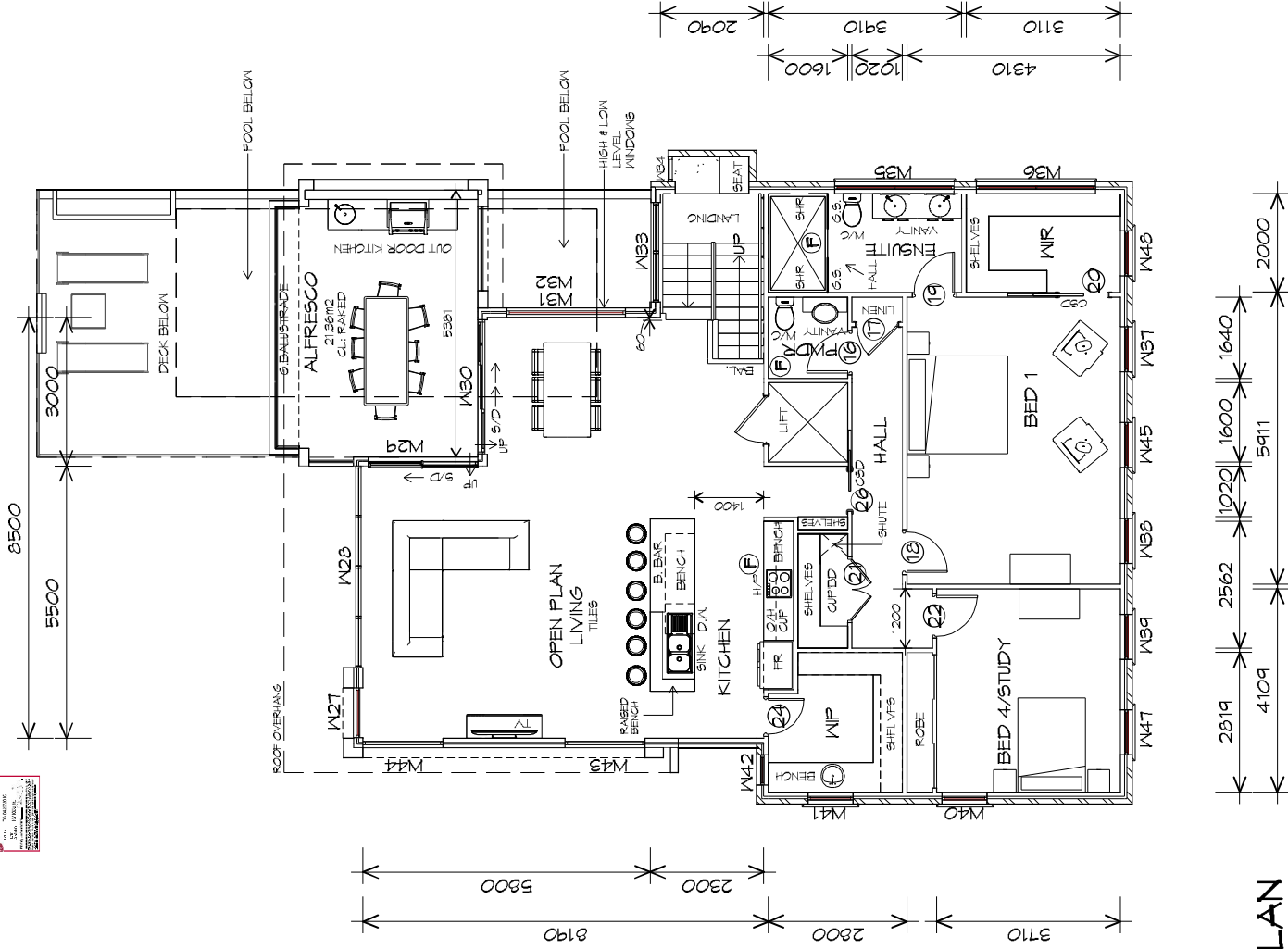
Project: **PROPOSED NEW RESIDENCE (LOT 1) 82-90 BALFOUR STREET, LAUNCESTON**  
 Client name: **S & S BLEATHMAN**  
 Drawing: **FIRST FLOOR PLAN**

Drafted by: **A.V.** Approved By: **F.G.G.**  
 Date: **14/09/2016** Scale: **1 : 100**  
 Project/Drawing No: **PD16007-02** Revision: **05**



# FIRST FLOOR PLAN

1 : 100



# SECOND FLOOR PLAN

1 : 100

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- FM FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN

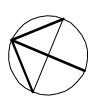
# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

**PRIME DESIGN**  
BUILDING DESIGN & DRAFTING  
Ph: 6332 3790 Fax: 6332 3798  
info@primedesigntas.com.au  
10 Goodman Court, Invermay, TAS 7248  
Accredited Building Practitioner  
Frank Gaskus - No CC246A

Project: **PROPOSED NEW RESIDENCE (LOT 1) 82-90 BALFOUR STREET, LAUNCESTON**  
Client name: **S & S BLEATHMAN**  
Drawing: **SECOND FLOOR PLAN**

Drafted by: **A.V.** Approved By: **F.G.G.**  
Date: **14/09/2016** Scale: **1 : 100**  
Project/Drawing No: **PD16007-03** Revision: **05**

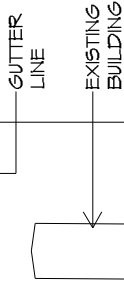






ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

PROJECTED  
RIDGE HEIGHT OF  
NEIGHBOURING BUILDING



800 HIGH POWDER  
COATED STEEL  
FENCE.  
NOT SHOWN FOR  
CLARITY.  
TO CLIENTS SPEC.

EAVES  
OVER HANG ROOF 450mm U.N.O.  
FRAME FOR LEVEL EAVES  
LINE ALL SOFFITS  
WITH HARDIFLEX SHEETING,  
IN ACCORDANCE WITH NCC 2015 3.5.3.5.

CLADDING  
75mm RMAX  
(CAVITY SYSTEM)  
INSTALL AND COAT TO  
MANUFACTURERS SPECIFICATIONS.

ROOF CLADDING  
COLORBOND CUSTOM ORB  
TO CLIENTS SPECS.

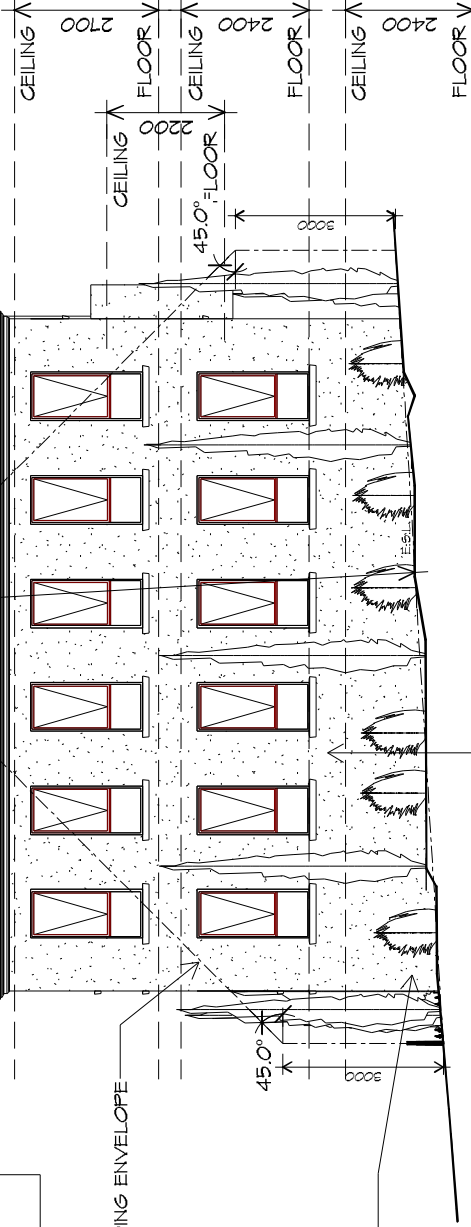
BUILDING ENVELOPE  
FEATURE WALL TILE  
'FERROKER ALMINIO'

PANEL LIFT DOOR 5500 WIDE X 2100 HIGH  
COLORBOND CLADDING 'TIMBER COAT'  
PANELS, COLOUR TO CLIENTS  
SPEC FIXED IN ACCORDANCE WITH  
MANUFACTURERS SPEC.  
COLOUR TO MATCH FENCE.

COLORBOND OR STRATCO  
ALUMINIUM SCREEN/FENCING  
TIMBER LOOK TO MATCH  
PANEL LIFT DOOR

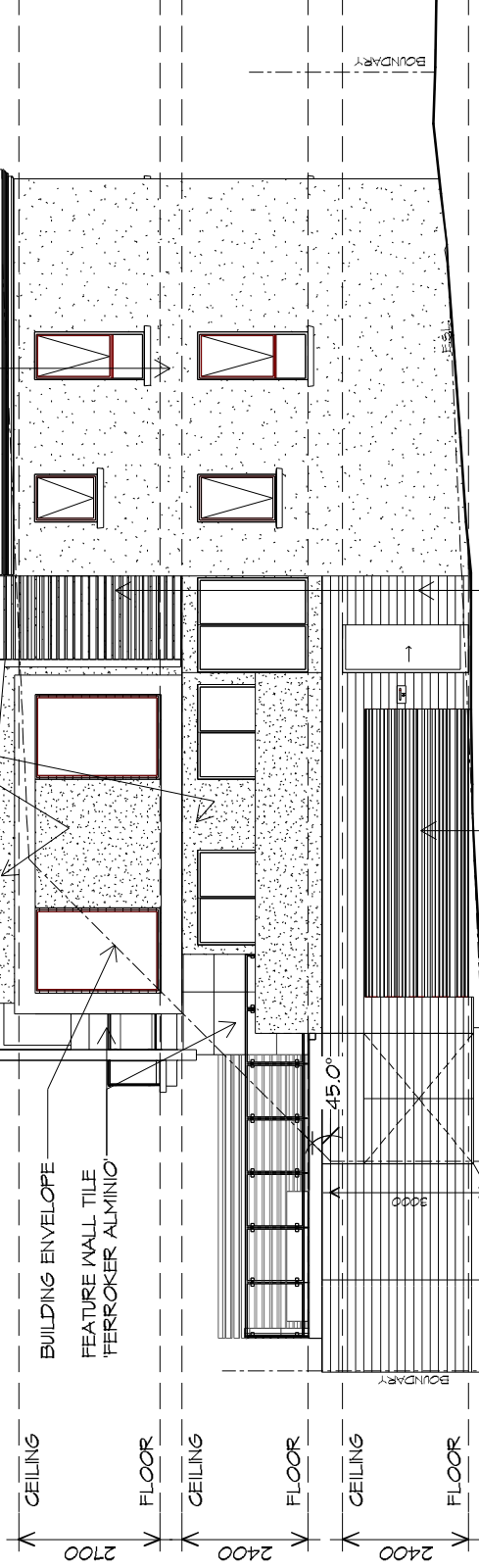
# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



## SOUTHERN ELEVATION

1 : 100



## WESTERN ELEVATION

1 : 100



**PRIME DESIGN**  
BUILDING DESIGN & DRAFTING  
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Accredited Building Practitioner  
Frank Gaskus - No CC246A

Project:  
**PROPOSED NEW RESIDENCE  
(LOT 1) 82-90 BALFOUR STREET,  
LAUNCESTON**

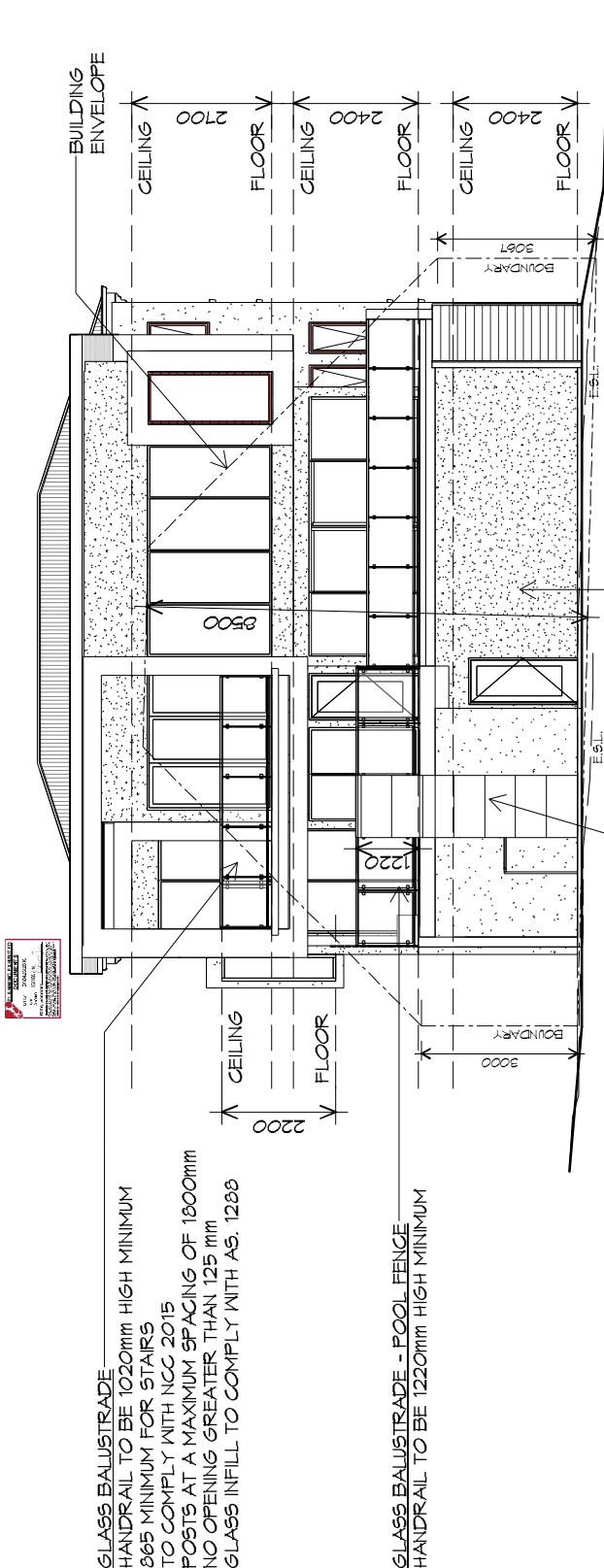
Client name:  
**S & S BLEATHMAN**  
Drawing:  
**ELEVATIONS**

Drafted by:  
**A.V.** Approved By:  
**F.G.G.**

Date:  
**14/09/2016** Scale:  
**1 : 100**

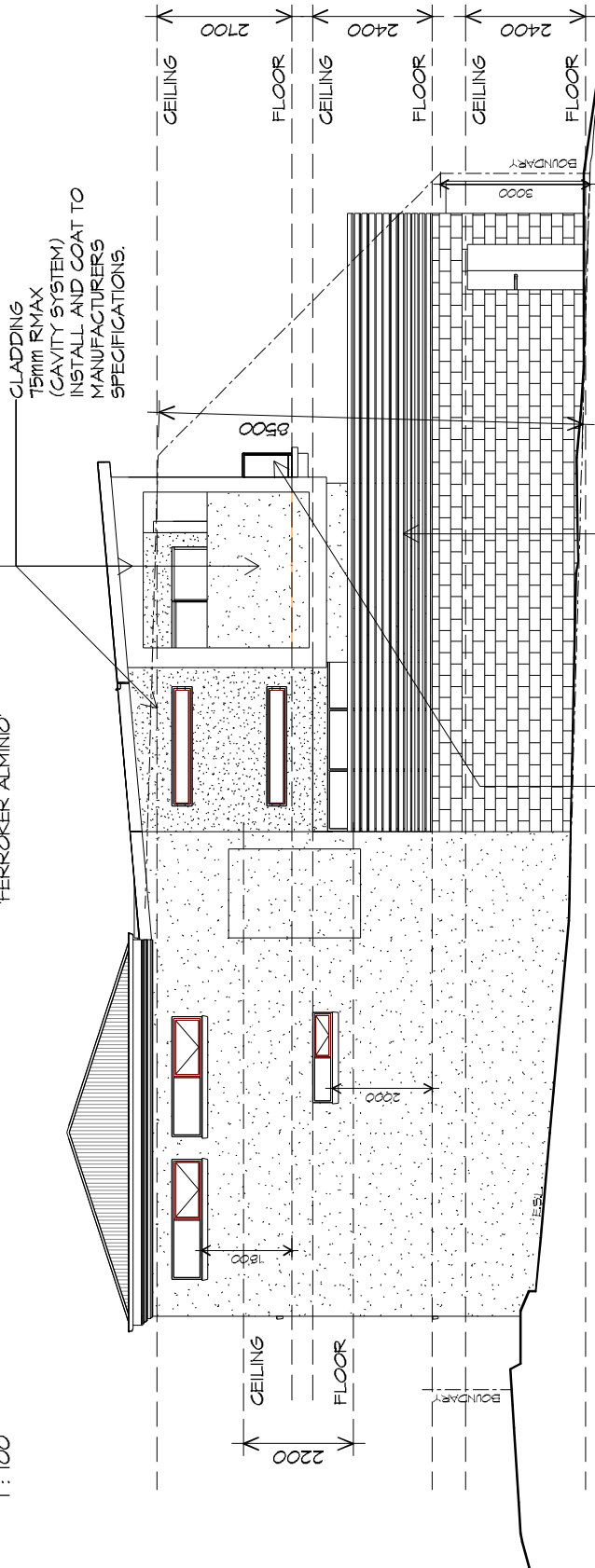
Project/Drawing No:  
**PD16007-05** Revision:  
**05**





**NORTHERN ELEVATION**

1 : 100



**EASTERN ELEVATION**

1 : 100

CLADDING  
 15mm RMAX  
 (CAVITY SYSTEM)  
 INSTALL AND COAT TO  
 MANUFACTURERS  
 SPECIFICATIONS.

FEATURE WALL TILE  
 FERROKER ALMINIO

COLOURBOND OR STRATCO  
 ALUMINIUM SCREEN/FENCING  
 TIMBER LOOK TO MATCH  
 PANEL LIFT DOOR

GLASS BALUSTRADE  
 HANDRAIL TO BE 1020mm HIGH MINIMUM  
 865 MINIMUM FOR STAIRS  
 TO COMPLY WITH NCC 2015  
 POSTS AT A MAXIMUM SPACING OF 1800mm  
 NO OPENING GREATER THAN 125 mm  
 GLASS INFILL TO COMPLY WITH AS. 1288



**ROOF PLUMBING NOTES:**

**GUTTER INSTALLATION TO BE IN ACCORDANCE WITH NCC 2015 PART 3.5.2.4. WITH FALL, NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER**

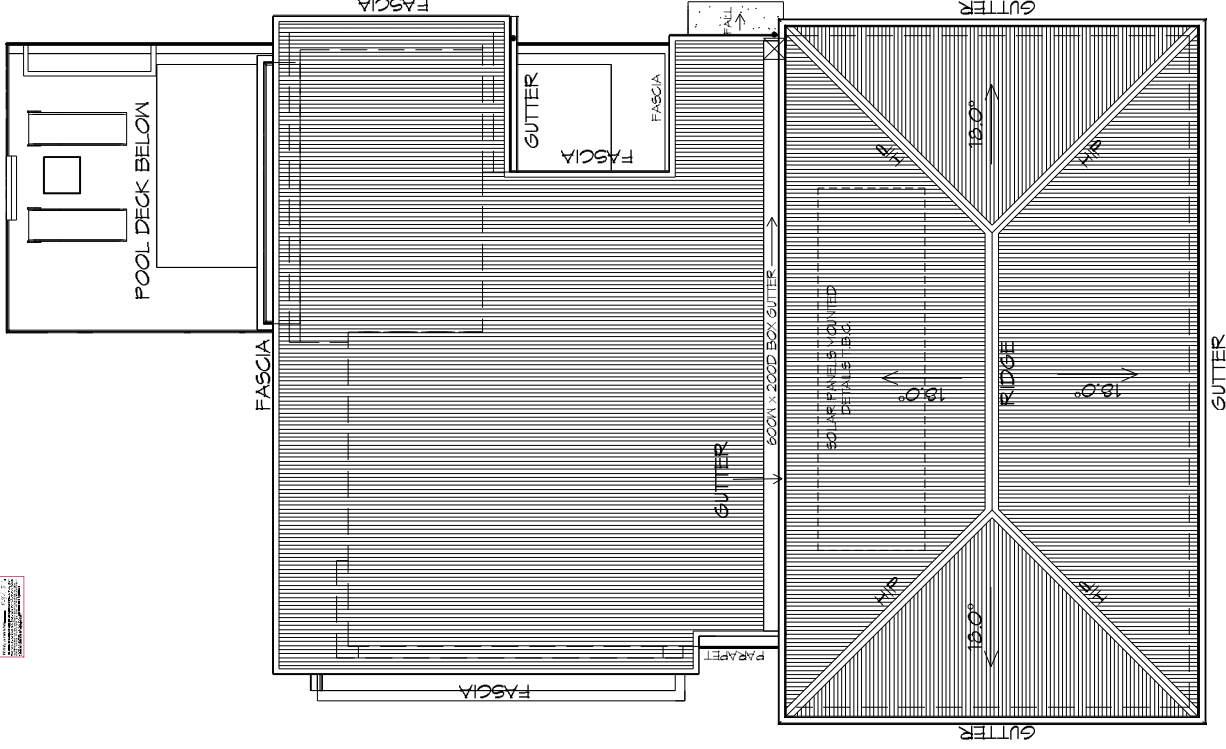
**UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.**

**VALLEY GUTTERS ON A ROOF WITH A PITCH: A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.**

**B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.**

**LAP GUTTERS 15mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.**

**DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & WITHIN 1.2m FROM A VALLEY GUTTER.**



# ROOF PLAN

1 : 100

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH NCC 2015 3.5.1.3. REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING, REFER TO TABLE 3.5.1.2 FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. REFER TO NCC 2015 3.5.1.3. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING DETAILS, ROOF PENETRATION FLASHING DETAILS.

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

**PRIME DESIGN**  
 BUILDING DESIGN & DRAFTING  
 Ph: 6332 3790 Fax: 6332 3798  
 info@primedesign.com.au  
 10 Goodman Court, Invermay, TAS 7248  
 Accredited Building Practitioner  
 Frank Gekus - No CC246A

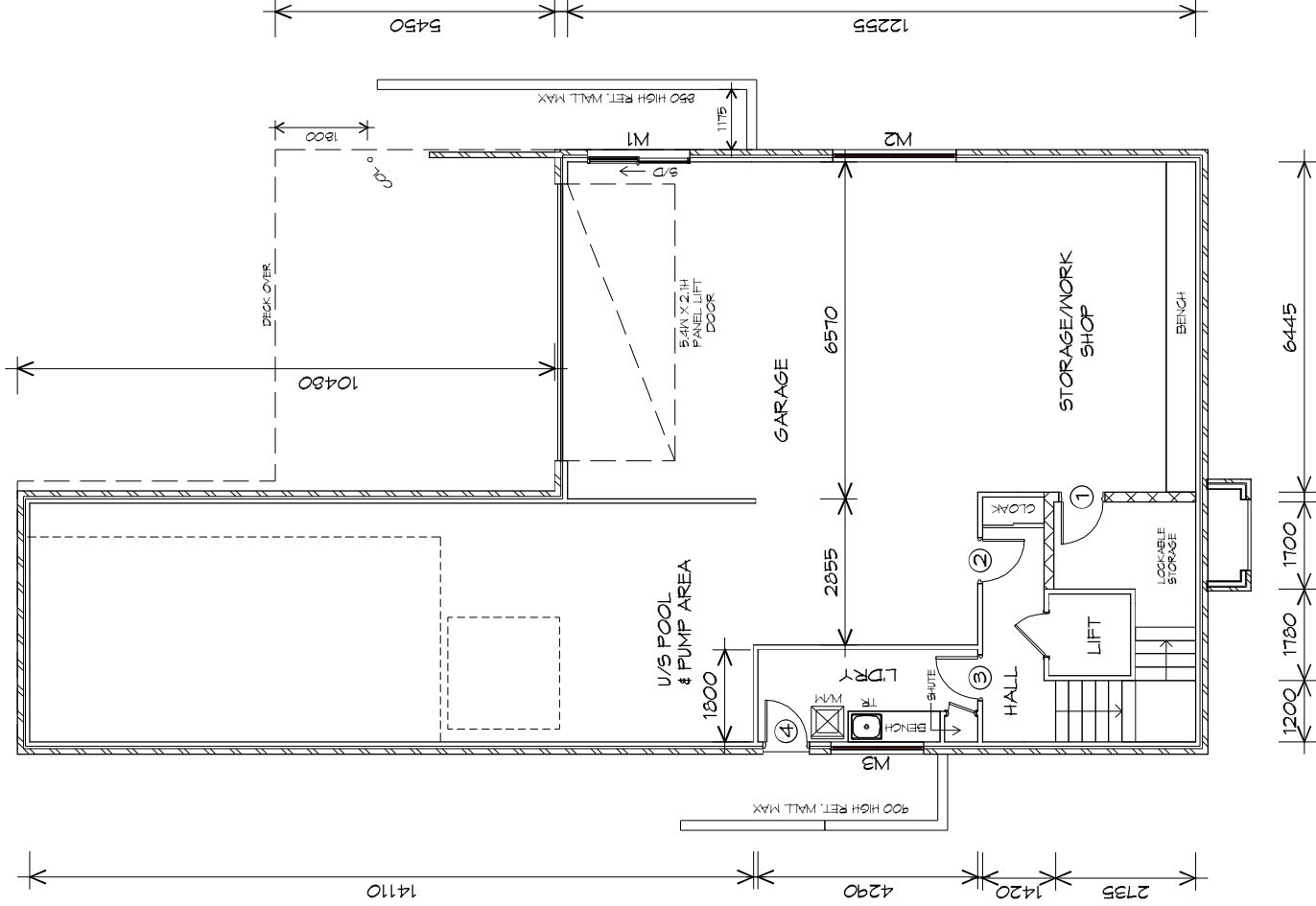
**Project:**  
PROPOSED NEW RESIDENCE  
(LOT 1) 82-90 BALFOUR STREET,  
LAUNCESTON

**Client name:**  
S & S BLEATHMAN  
**Drawing:**  
ROOF PLAN

<b>Drafted by:</b> A.V.	<b>Approved By:</b> F.G.G.
<b>Date:</b> 14/09/2016	<b>Scale:</b> 1 : 100
<b>Project/Drawing No:</b> PD16007-07	
<b>Revision:</b> 05	



5135



## GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	131.06	m2	( 14.09	SQUARES )
FIRST FLOOR AREA	128.05	m2	( 13.77	SQUARES )
FIRST FLOOR DECK/POOL AREA	113.76	m2	( 12.23	SQUARES )
SECOND FLOOR AREA	161.53	m2	( 17.37	SQUARES )
SECOND FLOOR DECK AREA	28.34	m2	( 3.05	SQUARES )
ENTRY PORTICO	2.08	m2	( 0.22	SQUARES )
BALCONY	2.13	m2	( 0.23	SQUARES )
<b>TOTAL AREA</b>	<b>566.95</b>		<b>60.96</b>	

## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ SIDELIGHT
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**PRIME DESIGN**  
 BUILDING DESIGN & DRAFTING  
 Ph: 6332 3790 Fax: 6332 3798  
 info@primedesigntas.com.au  
 10 Goodman Court, Invermay TAS 7248  
 Accredited Building Practitioner  
 Frank Gaskus - No CC246A

Project:  
**PROPOSED NEW RESIDENCE**  
**(LOT 2), 82-90 BALFOUR STREET,**  
**LAUNCESTON**

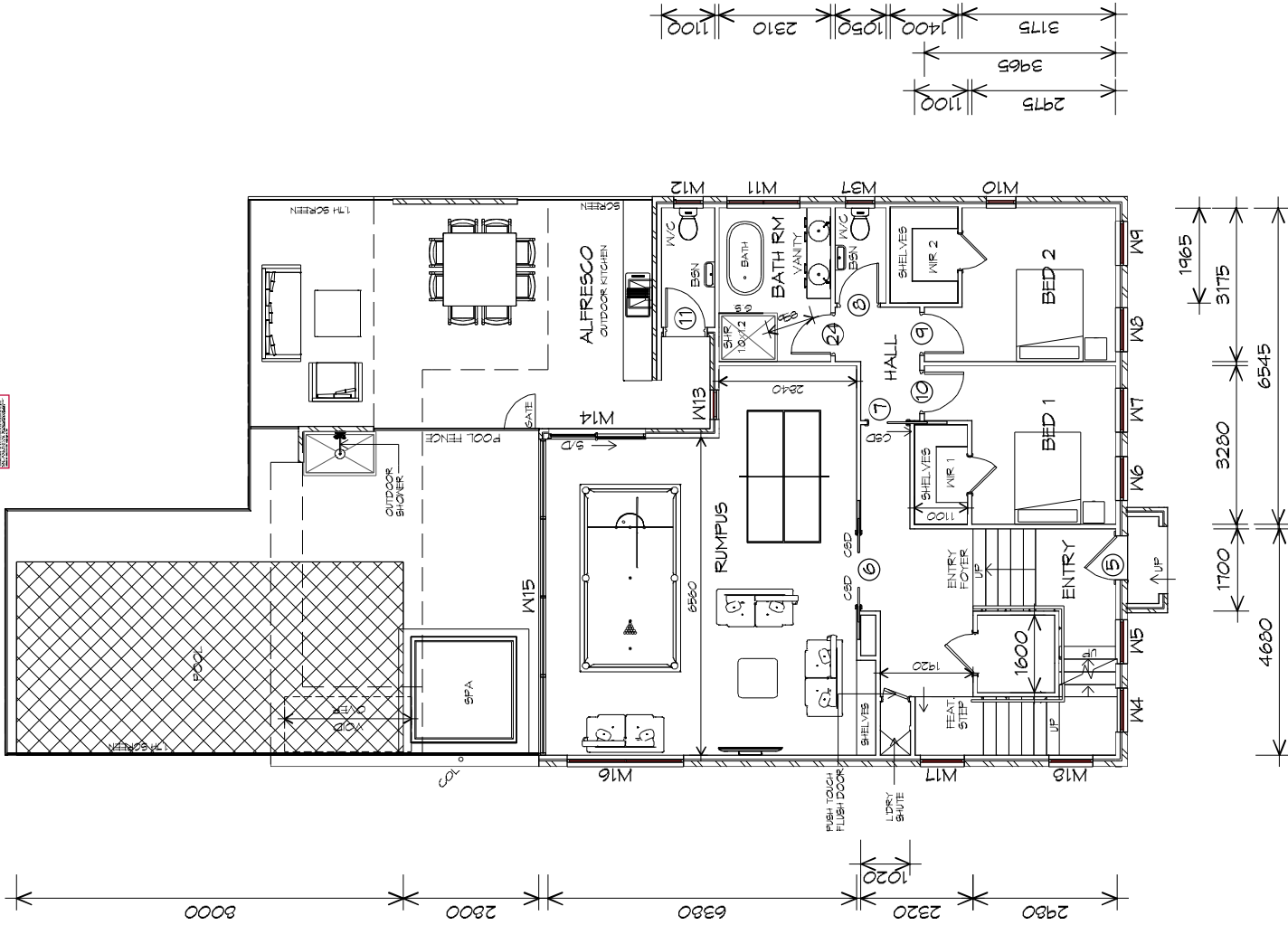
Client name:  
**TASSIE REEF POOLS**  
 Drawing:  
**GROUND FLOOR PLAN**

Drafted by:  
 Author  
 Approved By:  
 F.G.G.  
 Date:  
 14/09/2016  
 Scale:  
 1 : 100

Project/Drawing No:  
**PD16019-01**  
 Revision:  
**05**







# FIRST FLOOR PLAN

1 : 100

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (A) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- F/W FLOOR WASTE
- S/L SIDELIGHT
- COL COLUMN
- G.S. GLASS SCREEN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



Ph: 6332 3790 Fax: 6332 3798  
 info@primedesigntas.com.au  
 10 Goodman Court, Invermay TAS 7248  
 Accredited Building Practitioner  
 Frank Geskus - No CC246A

Project: PROPOSED NEW RESIDENCE (LOT 2), 82-90 BALFOUR STREET, LAUNCESTON

Client name: TASSIE REEF POOLS  
 Drawing: FIRST FLOOR PLAN

Drafted by:	Author	Approved By:	F.G.G.
Date:	14/09/2016	Scale:	1 : 100
Project/Drawing No:	PD16019-02	Revision:	05



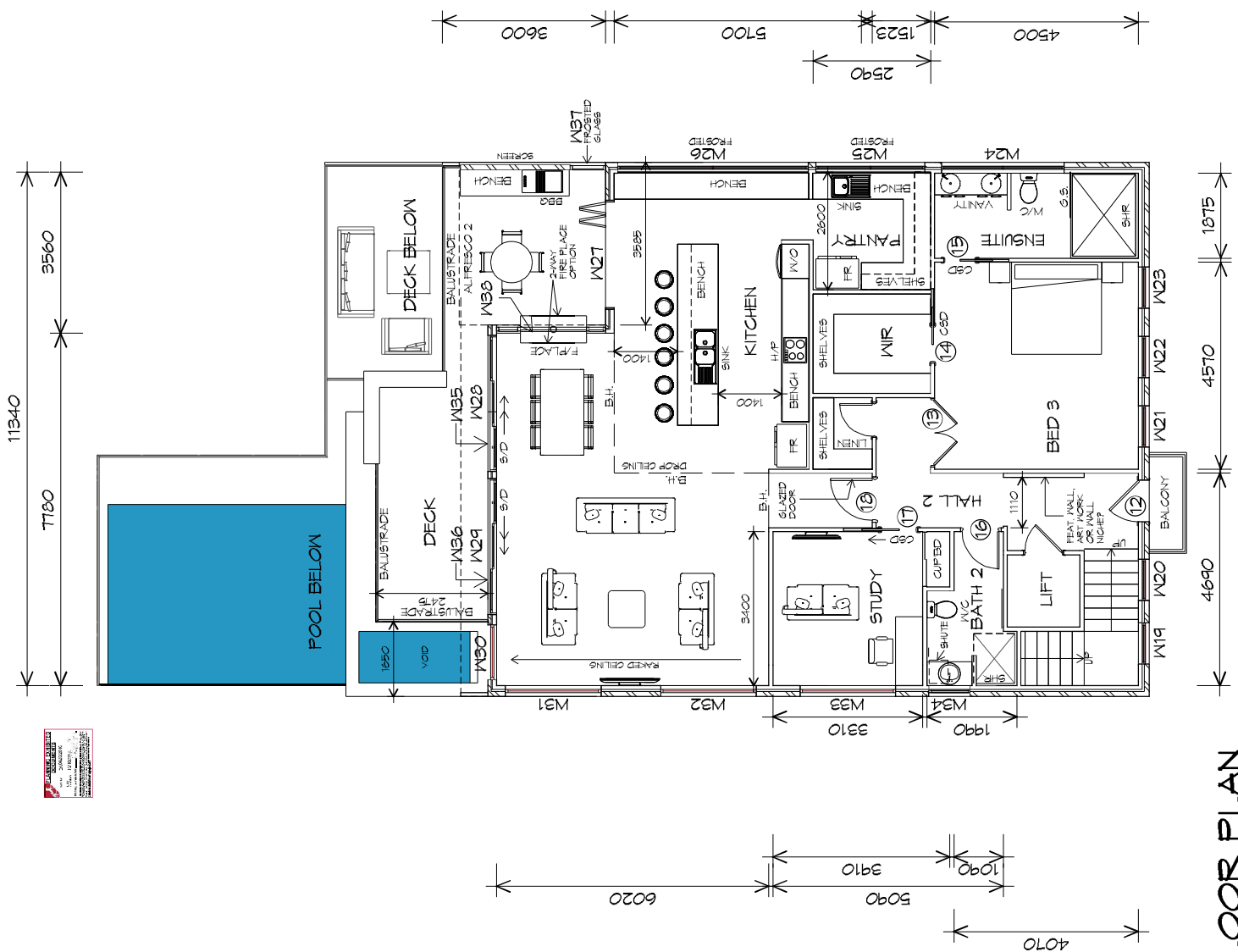
## LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓜ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ SIDELIGHT
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN

**PRIME DESIGN**  
 BUILDING DESIGN & DRAFTING  
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 Accredited Building Practitioner  
 Frank Gaskus - No CC246A

Project: **PROPOSED NEW RESIDENCE (LOT 2), 82-90 BALFOUR STREET, LAUNCESTON**  
 Client name: **TASSIE REEF POOLS**  
 Drawing: **SECOND FLOOR PLAN**

Drafted by: **Author**  
 Approved By: **F.G.G.**  
 Date: **14/09/2016**  
 Scale: **1 : 100**  
 Project/Drawing No: **PD16019-03**  
 Revision: **05**



## SECOND FLOOR PLAN

1 : 100



**ROOF PLUMBING NOTES:**

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH NCC 2015 PART 3.5.2.4. WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH: A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER.

B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P.'S REQUIRED ARE TO BE IN ACCORDANCE WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & WITHIN 1.2m FROM A VALLEY GUTTER.



**ROOF PLAN**  
1 : 100

**PLANNING**

NOTE: DO NOT SCALE OFF DRAWINGS



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Accredited Building Practitioner  
Frank Gaskus - No CC246A

Project:  
**PROPOSED NEW RESIDENCE  
(LOT 2), 82-90 BALFOUR STREET,  
LAUNCESTON**

Client name:  
**TASSIE REEF POOLS**

Drawing:  
**ROOF PLAN**

Drafted by: Approved By:  
Author: **F.G.G.**

Date: 14/09/2016 Scale: 1 : 100

Project/Drawing No: **PD16019-04** Revision: **05**





UNITEX BASE BOARD (CAVITY-SYSTEM)  
 INSTALL AND TEXTURE COAT TO MANUFACTURERS SPECIFICATIONS.

WINDOWS  
 POWDER COATED ALUMINIUM WINDOW FRAMES AVOID OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION  
 BRICK ON EDGE EXTERNAL SILLS REFER AS 1288 & AS 2047 & NCC 2015

ROOF CLADDING  
 COLORBOND CUSTOM ORB TO CLIENTS SPECS.

GLASS BALUSTRADE  
 HANDRAIL TO BE 1020mm HIGH MINIMUM 865 MINIMUM FOR STAIRS TO COMPLY WITH NCC 2015  
 POSTS AT A MAXIMUM SPACING OF 1800mm NO OPENING GREATER THAN 125 mm  
 GLASS INFILL TO COMPLY WITH AS. 1288

## NORTHERN ELEVATION

1 : 100

PARAPET WALLS  
 STUD WALL FRAMING TO BE CONTINUOUS FULL HEIGHT.

PANEL LIFT DOOR 5400 WIDE X 2100 HIGH GLASSING PANELS TO CLIENTS SPEC FIXED IN ACCORDANCE WITH MANUFACTURERS SPEC

WEATHERTEX CLADDING OR SIMILAR CLADDING INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

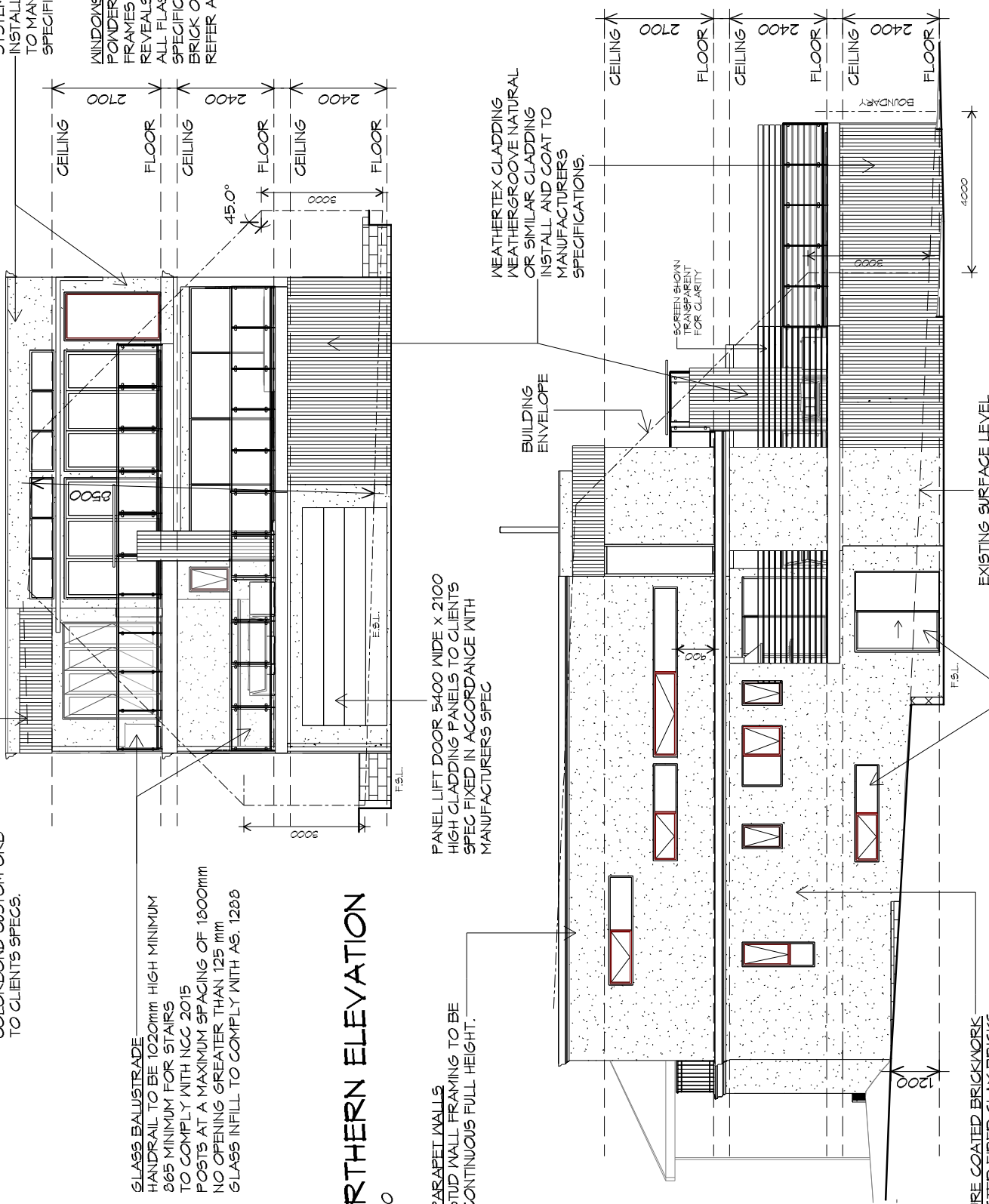
BUILDING ENVELOPE

SCREEN SHOWN TRANSPARENT FOR CLARITY

TEXTURE COATED BRICKWORK  
 SELECTED FIRED CLAY BRICKS FLUSH JOINTS, STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS  
 ALL MASONRY TO COMPLY WITH AS 3377 & 3.3 OF THE NCC  
 Version: 2, Version Date: 20/09/2016

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2015/2 3.12.3

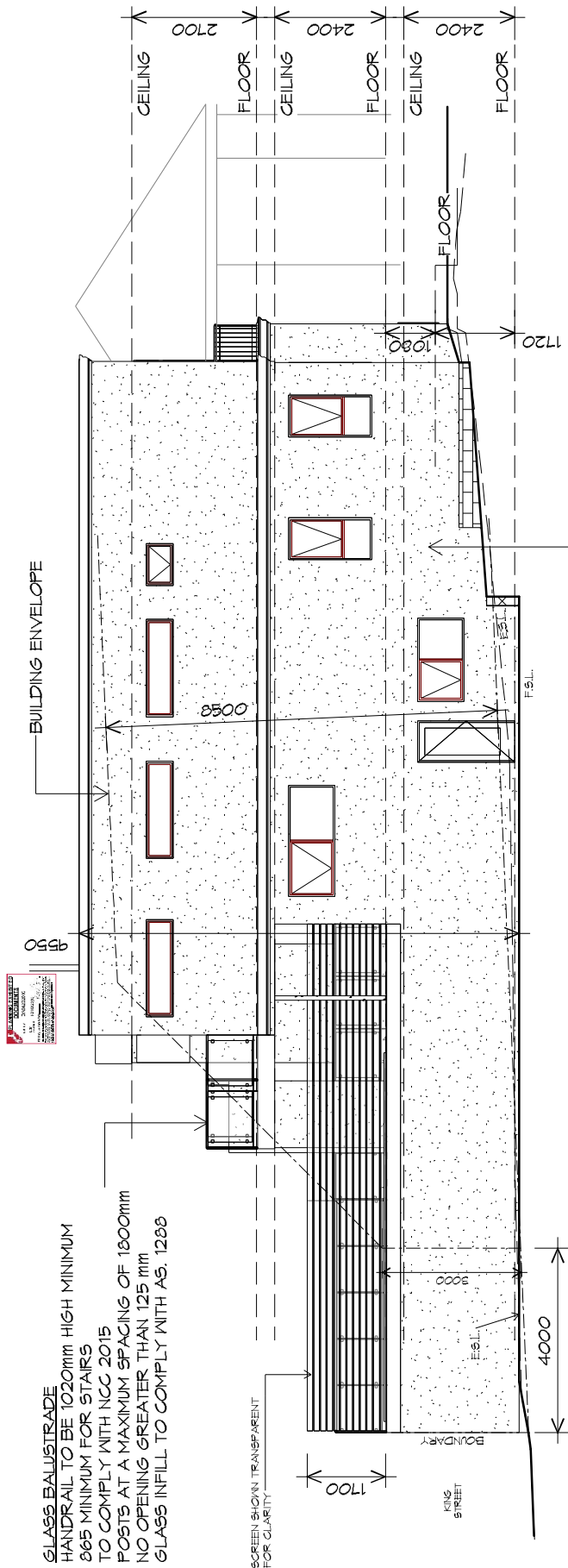
EXISTING SURFACE LEVEL



## EASTERN ELEVATION

1 : 100





GLASS BALUSTRADE  
HANDRAIL TO BE 1020mm HIGH MINIMUM  
865 MINIMUM FOR STAIRS  
TO COMPLY WITH NCC 2015  
POSTS AT A MAXIMUM SPACING OF 1800mm  
NO OPENING GREATER THAN 125 mm  
GLASS INFILL TO COMPLY WITH AS. 1288

SCREEN SHOWN TRANSPARENT  
FOR CLARITY

KING STREET

## WESTERN ELEVATION

1 : 100

TEXTURE COATED BRICKWORK  
SELECTED FIRED CLAY BRICKS  
FLUSH JOINTS, STRETCHER BOND  
REFER ENGINEER FOR  
ARTICULATION JOINTS  
ALL MASONRY TO COMPLY  
WITH PART 3.3 OF THE NCC

ENCROACHMENT

BUILDING ENVELOPE



800 HIGH POWDER  
COATED STEEL FENCE,  
TO CLIENTS SPEC.

## SOUTHERN ELEVATION

1 : 100



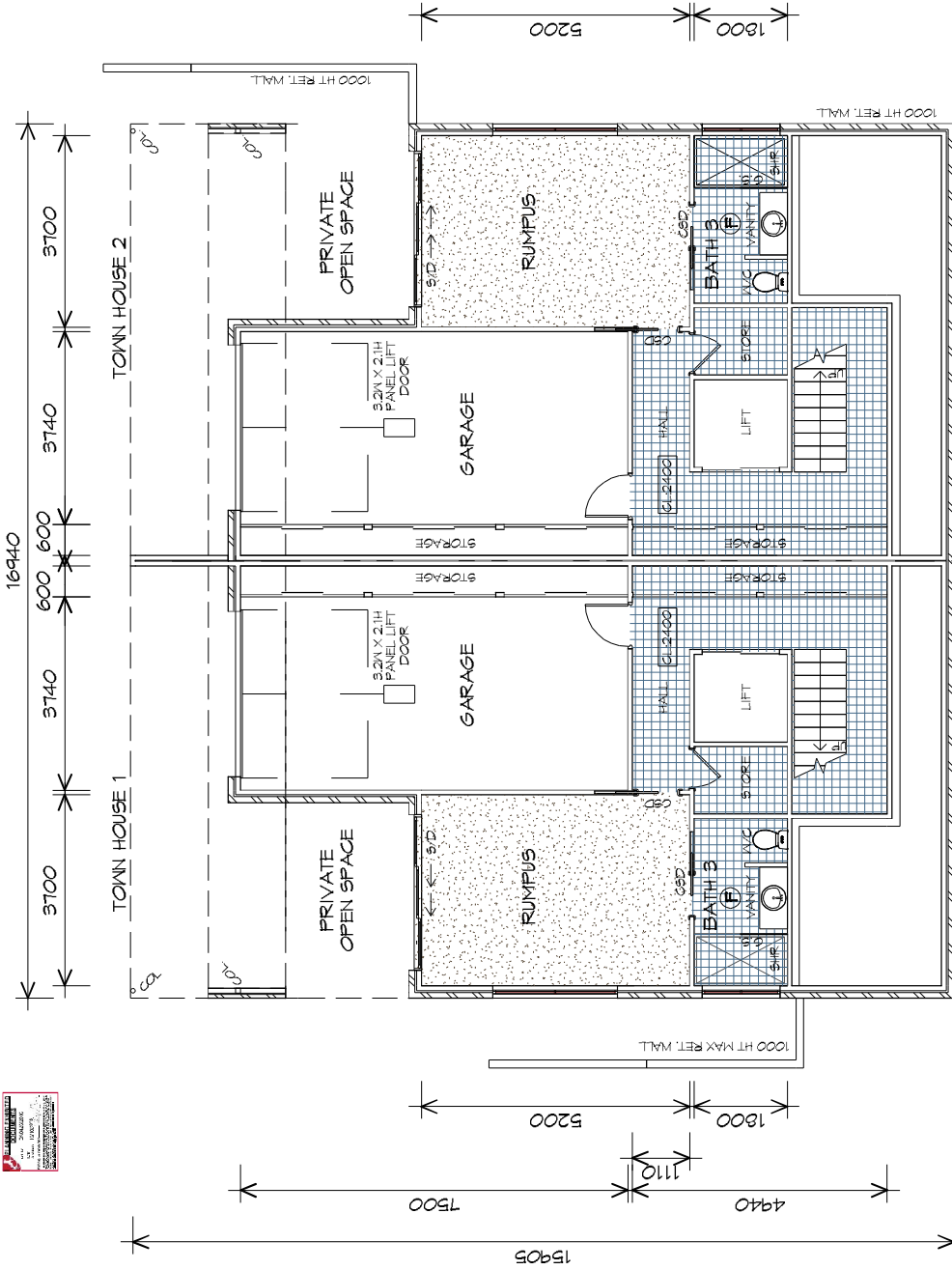
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Accredited Building Practitioner  
Frank Geskus - No CC246A

Project:  
PROPOSED NEW RESIDENCE  
(LOT 2), 82-90 BALFOUR STREET,  
LAUNCESTON

Client name:  
TASSIE REEF POOLS  
Drawing:  
ELEVATIONS

Drafted by: Approved By:  
Author F.G.G.  
Date: 14/09/2016 Scale: 1 : 100  
Project/Drawing No: PD16019-07 Revision: 05





# GROUND FLOOR PLAN

1 : 100

TH1 GROUND FLOOR AREA	58.91	m2	(	9.56	SQUARES )
TH1 FIRST FLOOR AREA	109.69	m2	(	11.79	SQUARES )
TH1 FIRST FLOOR BALCONY	12.69	m2	(	1.37	SQUARES )
TH1 SECOND FLOOR AREA	109.69	m2	(	11.79	SQUARES )
TH1 SECOND FLOOR DECK	25.41	m2	(	2.73	SQUARES )
TOTAL FLOOR AREA	346.39				

TH2 GROUND FLOOR AREA	58.91	m2	(	9.56	SQUARES )
TH2 FIRST FLOOR AREA	109.69	m2	(	11.79	SQUARES )
TH2 FIRST FLOOR BALCONY	12.65	m2	(	1.36	SQUARES )
TH2 SECOND FLOOR DECK	25.41	m2	(	2.73	SQUARES )
TH2 SECOND FLOOR AREA	109.69	m2	(	11.79	SQUARES )
TOTAL FLOOR AREA	346.35				

GRAND TOTAL FLOOR AREA : 688.93 m 2 (74 SQUARES)

**NOTE:**  
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

## LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (SA) 240V SMOKE ALARM
- (SD) CAVITY SLIDING DOOR
- (SL) SLIDING DOOR
- (FW) FLOOR WASTE
- (COL) COLUMN
- (G.S.) GLASS SCREEN

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

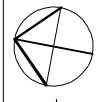
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Project: PROPOSED TOWN HOUSES (LOT 3 & 4) 82-90 BALFOUR STREET, LAUNCESTON  
Client name: NEWMAN, BURK, BLEATHMAN

Drawing: GROUND FLOOR PLAN

Drafted by: A.V.  
Approved By: F.G.G.  
Date: 14/09/2016  
Scale: 1 : 100

Project/Drawing No: PD16016-01  
Revision: 05





# LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- F/A FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN

# PLANNING

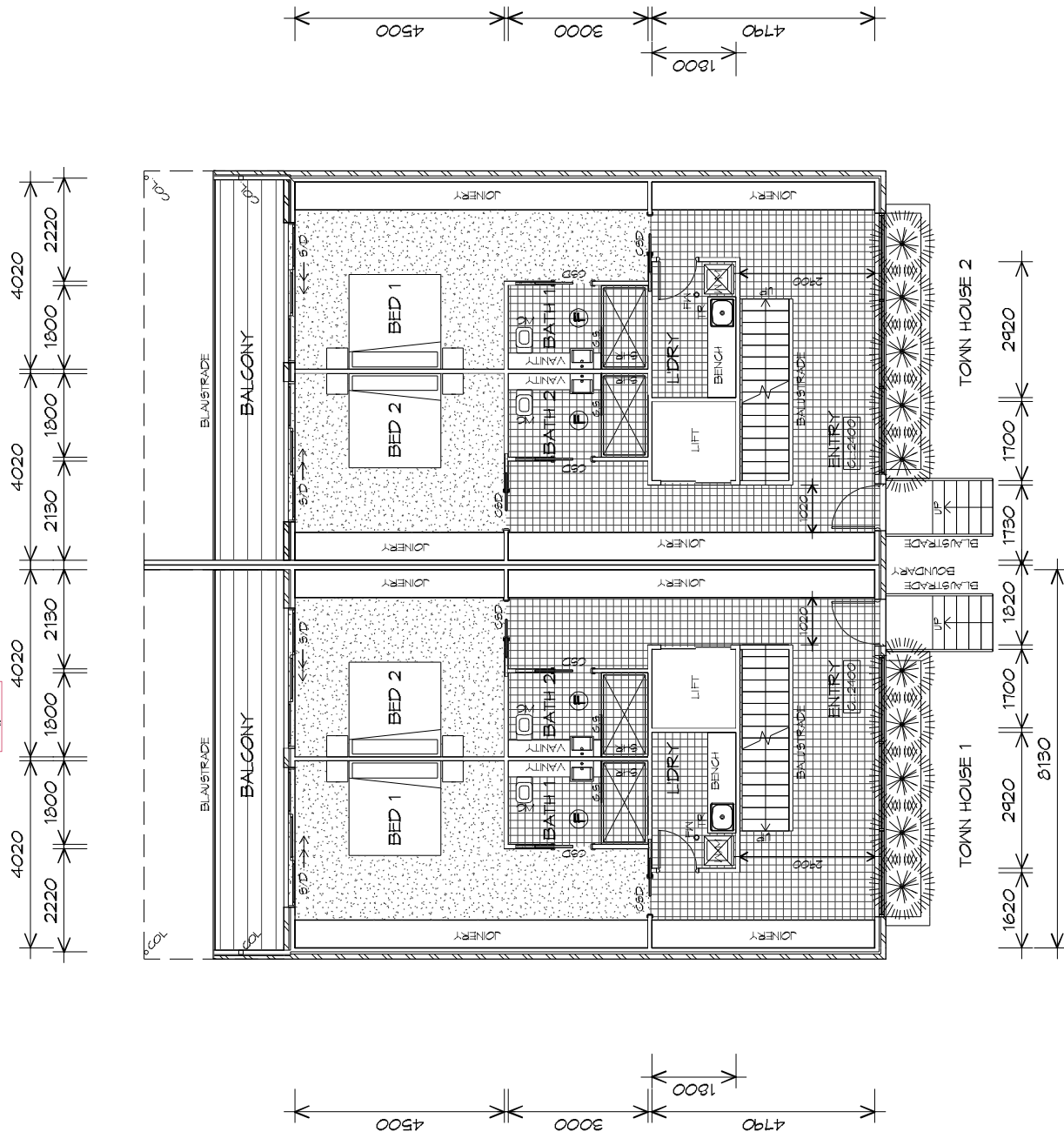
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 Accredited Building Practitioner  
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Project:  
**PROPOSED TOWN HOUSES**  
 (LOT 3 & 4) 82-90 BALFOUR STREET,  
 LAUNCESTON  
 Client name:  
 NEWMAN, BURK, BLEATHMAN  
 Drawing:  
**FIRST FLOOR PLAN**

Drafted by:	Approved By:
A.V.	F.G.G.
Date:	Scale:
14/09/2016	1 : 100
Project/Drawing No:	Revision:
PD16016-02	05



## FIRST FLOOR PLAN

1 : 100



# LEGEND

- (F) EXHAUST FAN-VENT TO OUTSIDE AIR.
- (S) 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- F/W FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN

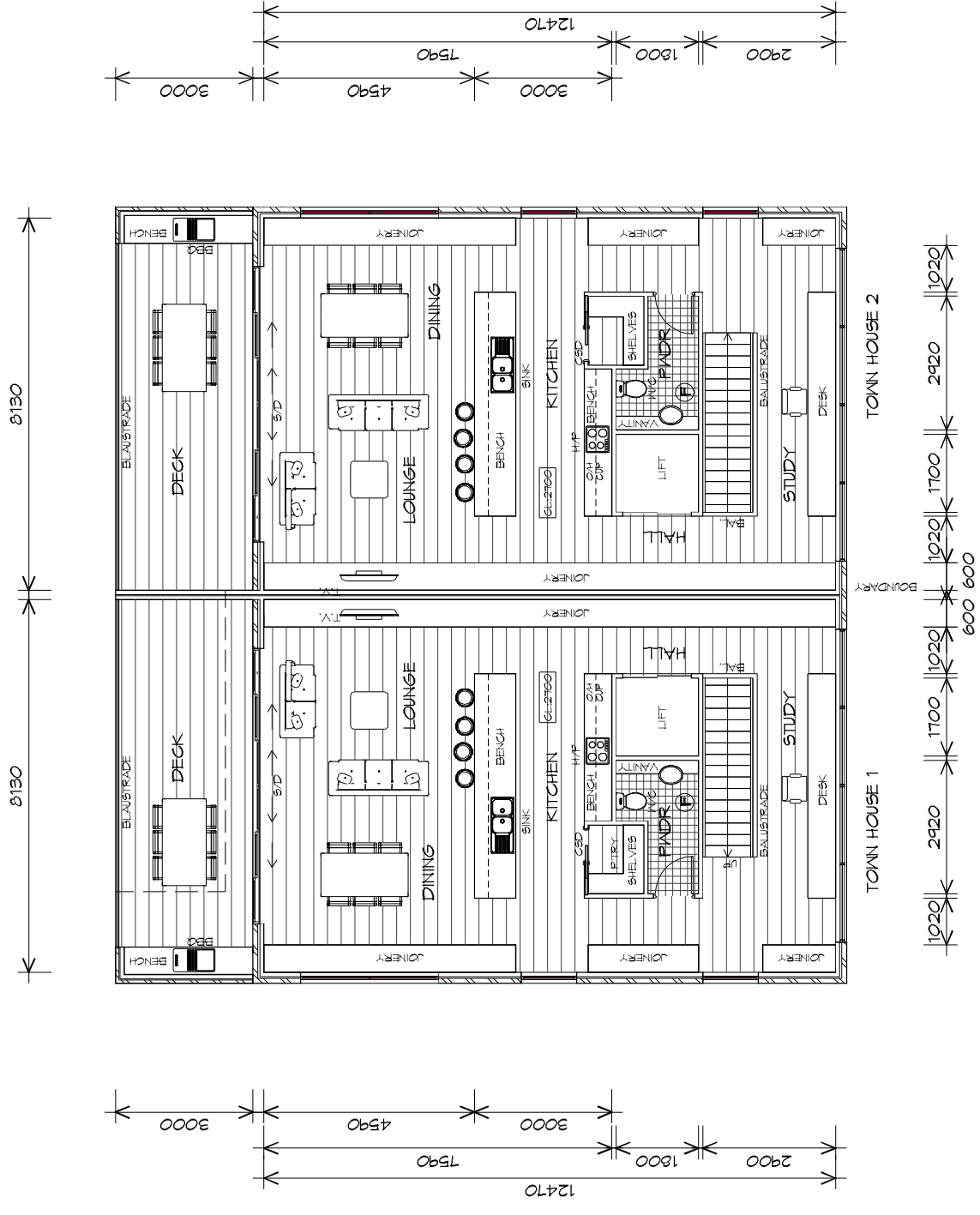
# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

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Project: **PROPOSED TOWN HOUSES (LOT 3 & 4) 82-90 BALFOUR STREET, LAUNCESTON**  
 Client Name: **NEWMAN, BURK, BLEATHMAN**  
 Drawing: **SECOND FLOOR PLAN**

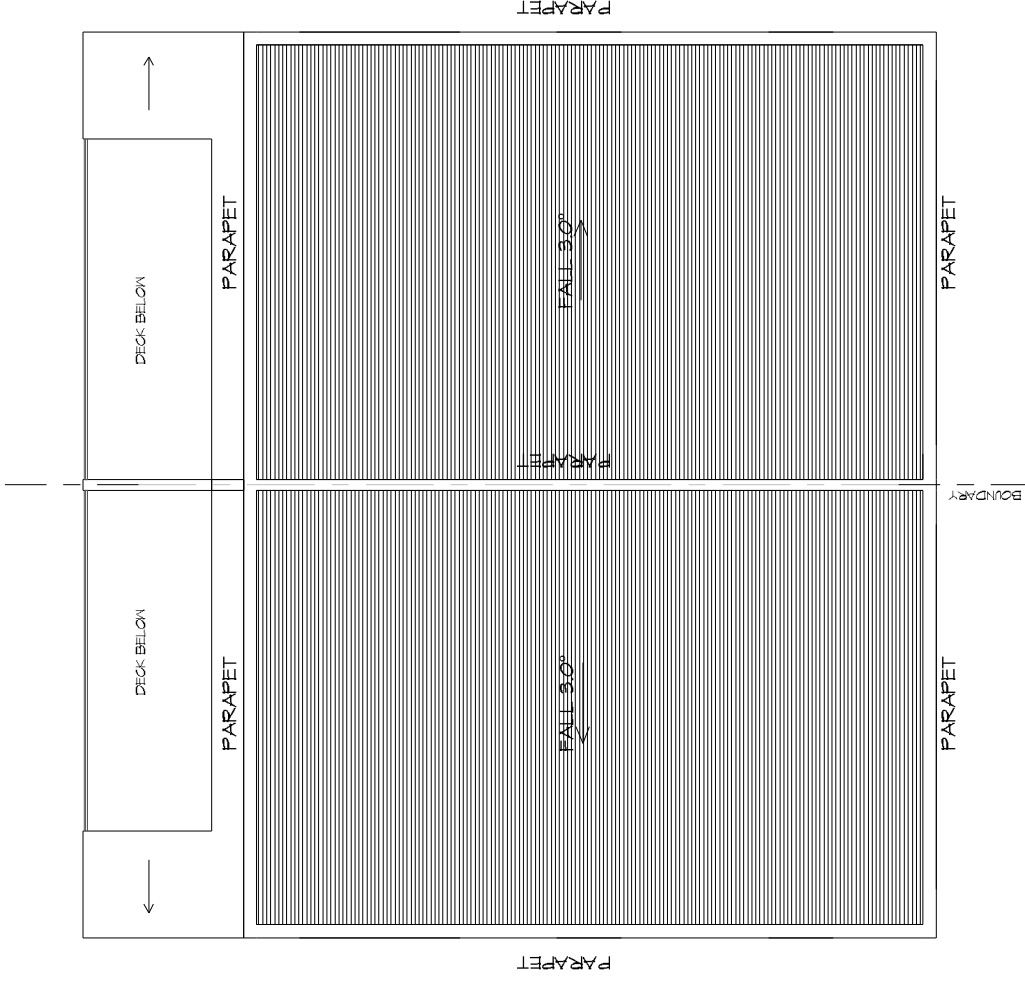
Drafted by: **A.V.** Approved By: **F.G.G.**  
 Date: **14/09/2016** Scale: **1 : 100**  
 Project/Drawing No: **PD16016-03** Revision: **05**



## SECOND FLOOR PLAN

1 : 100





## SECOND FLOOR ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD  
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.  
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL SHEETING ROOF TO BE INSTALLED IN ACCORDANCE WITH NCC 2015 3.5.1.3. REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE CORROSION PROTECTION FOR SHEET ROOFING. REFER TO TABLE 3.5.1.2 FOR ACCEPTABILITY OF CONTACT BETWEEN DIFFERENT ROOFING MATERIALS. REFER TO NCC 2015 3.5.1.3. FOR FIXING, SHEET LAYING SEQUENCE, FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS AND CAPPINGS, ANTI-CAPILLARY BREAKS, FLASHING DETAILS. ROOF PENETRATION FLASHING DETAILS.

### ROOF PLUMBING NOTES:

GUTTER INSTALLATION TO BE IN ACCORDANCE WITH NCC 2015 PART 3.5.2.4. WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA EAVES GUTTER TO BE FIXED @ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH: A) MORE THAN 12.5° DEGREES - MUST HAVE A WIDTH OF NOT LESS THAN 400mm AND ROOF OVERHANG OF NOT LESS THAN 150mm EACH SIDE OF VALLEY GUTTER. B) LESS THAN 12.5° DEGREES, MUST BE DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER OF D.P'S REQUIRED ARE TO BE IN ACCORDANCE WITH NCC CLAUSE 3.5.2.5 REQUIREMENTS. SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12m & WITHIN 1.2m FROM A VALLEY GUTTER.

# PLANNING

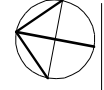
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Project: PROPOSED TOWN HOUSES (LOT 3 & 4) 82-90 BALFOUR STREET, LAUNCESTON  
Client name: NEWMAN, BURK, BLEATHMAN  
Drawing: ROOF PLAN

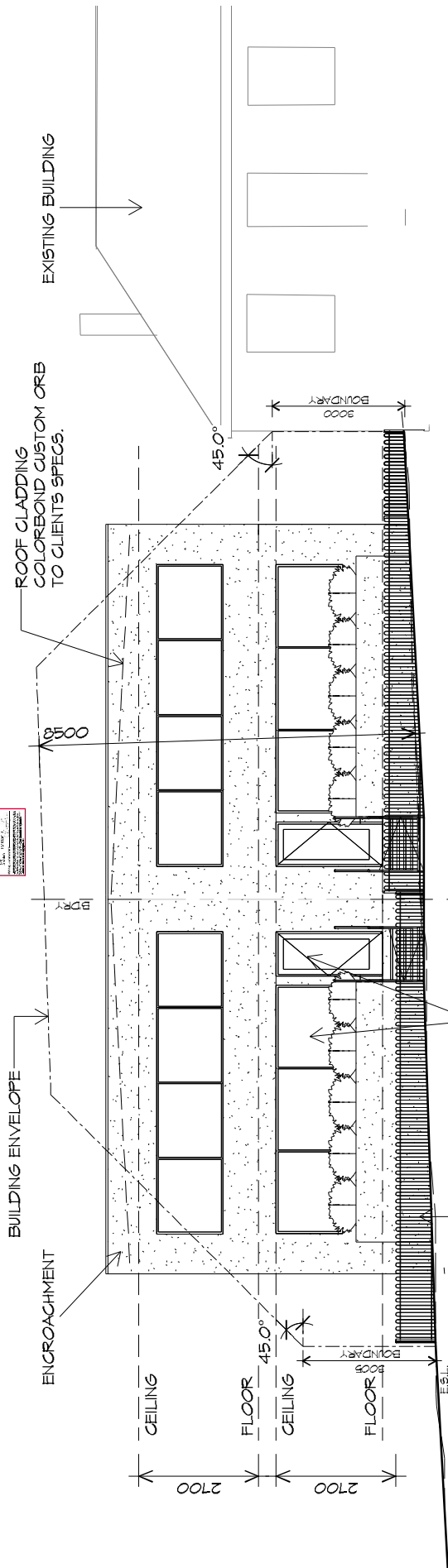
Drafted by: A.V.  
Approved By: F.G.G.  
Date: 14/09/2016  
Scale: 1 : 100



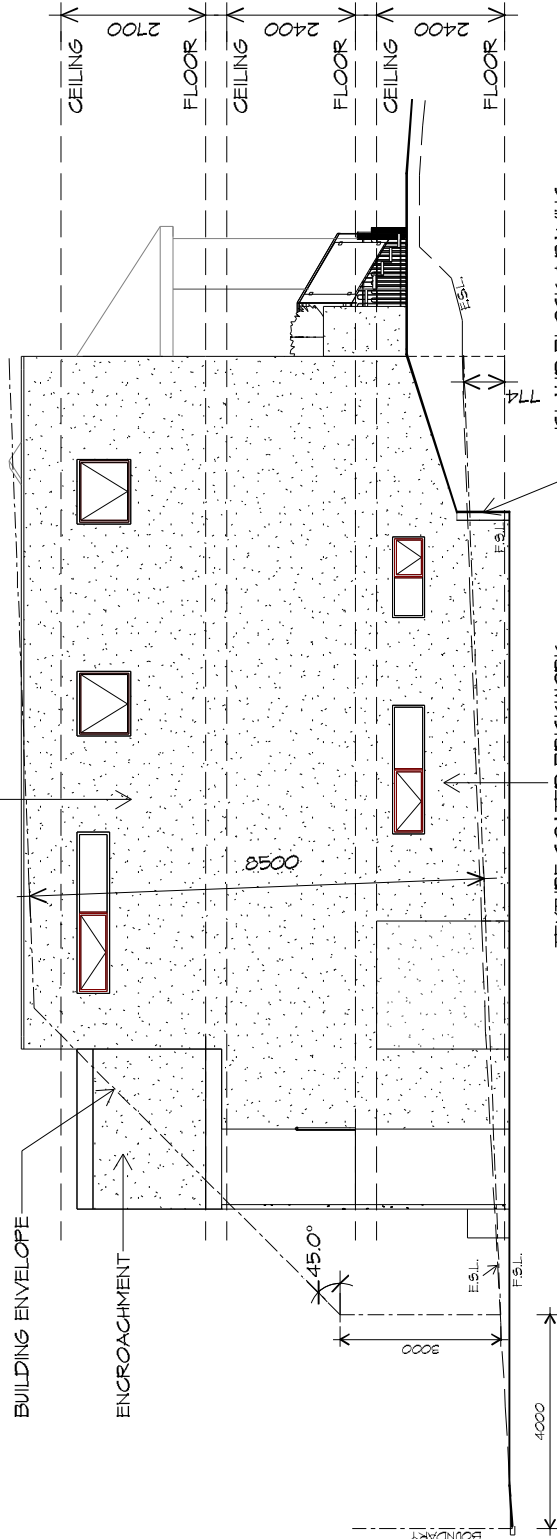
Project/Drawing No: PD16016-04  
Revision: 05

# PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



**SOUTHERN ELEVATION**  
1 : 100



**WESTERN ELEVATION**  
1 : 100

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Project: **PROPOSED TOWN HOUSES (LOT 3 & 4) 82-90 BALFOUR STREET, LAUNCESTON**  
Client name: **NEWMAN, BURK, BLEATHMAN**  
Drawing: **ELEVATIONS**

Drafted by: <b>A.V.</b>	Approved By: <b>F.G.G.</b>
Date: <b>14/09/2016</b>	Scale: <b>1 : 100</b>
Project/Drawing No: <b>PD16016-05</b>	Revision: <b>05</b>



