PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET LAUNCESTON

HIA member

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date endorsed: 06/02/2016
Planning Administrator

DRAWING SHEETS ATTACHED			
SHEET	A.01	COVER SHEET	
SHEET	A.02	SURVEY EXTRACT	
SHEET	A.03	SITE IDENTIFICATION	
SHEET	A.04	SITE PLAN	
SHEET	A.05	PARKING & TURNING PLAN	
SHEET	A.06	SITE ELEVATIONS	
SHEET	A.07	SITE SECTIONS	
SHEET	A.08	PLUMBING PLAN	
SHEET	A.09	FLOOR PLAN LOWER & UPPER	UNIT 1
SHEET	A.10	ELEVATIONS	UNIT 1
SHEET	A.11	ROOF PLAN & GLAZING SCHEDULE	UNIT 1
SHEET	A.12	SECTION A - A	UNIT 1
SHEET	A.13	SETOUT PLAN LOWER FLOOR	UNIT 1
SHEET	A.14	FLOOR FRAME PLAN	UNIT 1
SHEET	A.15	ENERGY EFF / INSULATION PLAN	UNIT 1
SHEET	A.16	LIGHTING PLAN	UNIT 1
SHEET	A.17	FLOOR PLAN LOWER & UPPER	UNIT 2
SHEET	A.18	ELEVATIONS	UNIT 2
SHEET	A.19	ROOF PLAN & GLAZING SCHEDULE	UNIT 2
SHEET	A.20	SECTION A - A	UNIT 2
SHEET	A.21	SETOUT PLAN LOWER FLOOR	UNIT 2
SHEET	A.22	FLOOR FRAME PLAN	UNIT 2
SHEET	A.23	ENERGY EFF / INSULATION PLAN	UNIT 2
SHEET	A.24	LIGHTING PLAN	UNIT 2
SHEET	A.25	FLOOR PLAN LOWER & UPPER	UNIT 3
SHEET	A.26	ELEVATIONS	UNIT 3
SHEET	A.27	ROOF PLAN & GLAZING SCHEDULE	UNIT 3
SHEET	A.28	SECTION A - A	UNIT 3
SHEET	A.29	SETOUT PLAN LOWER FLOOR	UNIT 3
SHEET	A.30	FLOOR FRAME PLAN	UNIT 3
SHEET	A.31	ENERGY EFF / INSULATION PLAN	UNIT 3
SHEET	A.32	LIGHTING PLAN	UNIT 3
SHEET	A.33	FLOOR PLAN LOWER & UPPER	UNIT 4
SHEET	A.34	ELEVATIONS	UNIT 4
SHEET	A.35	ROOF PLAN & GLAZING SCHEDULE	UNIT 4
SHEET	A.36	SECTION A - A	UNIT 4
SHEET	A.37	SETOUT PLAN LOWER FLOOR	UNIT 4
SHEET	A.38	FLOOR FRAME PLAN	UNIT 4
SHEET	A.39	ENERGY EFF / INSULATION PLAN	UNIT 4
SHEET	A.40	LIGHTING PLAN	UNIT 4
SHEET	A.41	GENERAL NOTES	
SHEET	A.42	WET AREA NOTES - A	
SHEET	A.43	WET AREA NOTES - B	

ATTACHMENTS
SOILTEST REPORT BY TBA - TBA
- DESIGN WIND SPEED - TBA
ENGINEERING DESIGN - BY TBA
CERTIFICATE OF TITLE - SP 156967 / 5
CERTIFICATE 35A & 35B
ENERGY EFFICIENCY CALCULATIONS - TORPLE
BAL ASSESSMENT 'BAL LOW' - URBAN D/S
GENERAL
CLIMATE ZONE 7 - TO BCA
CORROSION ENVIRONMENT - MODERATE TO BCA

AREA DETAILS		
AREA OF UPPER FLOOR	UNIT 1	46.71 sqm
AREA OF LOWER FLOOR	UNIT 1	50.65 sqm
AREA OF PORTICO	UNIT 1	8.82 sqm
AREA OF PATIO	UNIT 1	5.29 sqm
TOTAL AREA	UNIT 1	111.47 sqm (12 sq)
AREA OF UPPER FLOOR	UNIT 2	47.15 sqm
AREA OF LOWER FLOOR	UNIT 2	45.19 sqm
AREA OF PORTICO	UNIT 2	7.56 sqm
AREA OF PATIO	UNIT 2	6.45 sqm
TOTAL AREA	UNIT 2	106.35 sqm (11.5 sq)
AREA OF UPPER FLOOR	UNIT 3	58.28 sqm
AREA OF LOWER FLOOR	UNIT 3	58.28 sqm
AREA OF PATIO	UNIT 3	3.75 sqm
TOTAL AREA	UNIT 3	120.31 sqm (12.95sq)
AREA OF UPPER FLOOR	UNIT 4	56.16 sqm
AREA OF LOWER FLOOR	UNIT 4	47.78 sqm
AREA OF PORTICO	UNIT 4	7.59 sqm
TOTAL AREA	UNIT 4	111.53 sqm (12 sq)
TOTAL AREA OF UNITS		449.66 sqm
LAND SIZE		446 sqm (APPROX)
SITE COVER		00.00 % (APPROX)
TOTAL IMPERVIOUS AREA		00.00sqm
AREA FREE OF IMPERVIOUS SURFACE		00.00%

ACCREDITATION - JASON VAN ZETTEN - CC1952X

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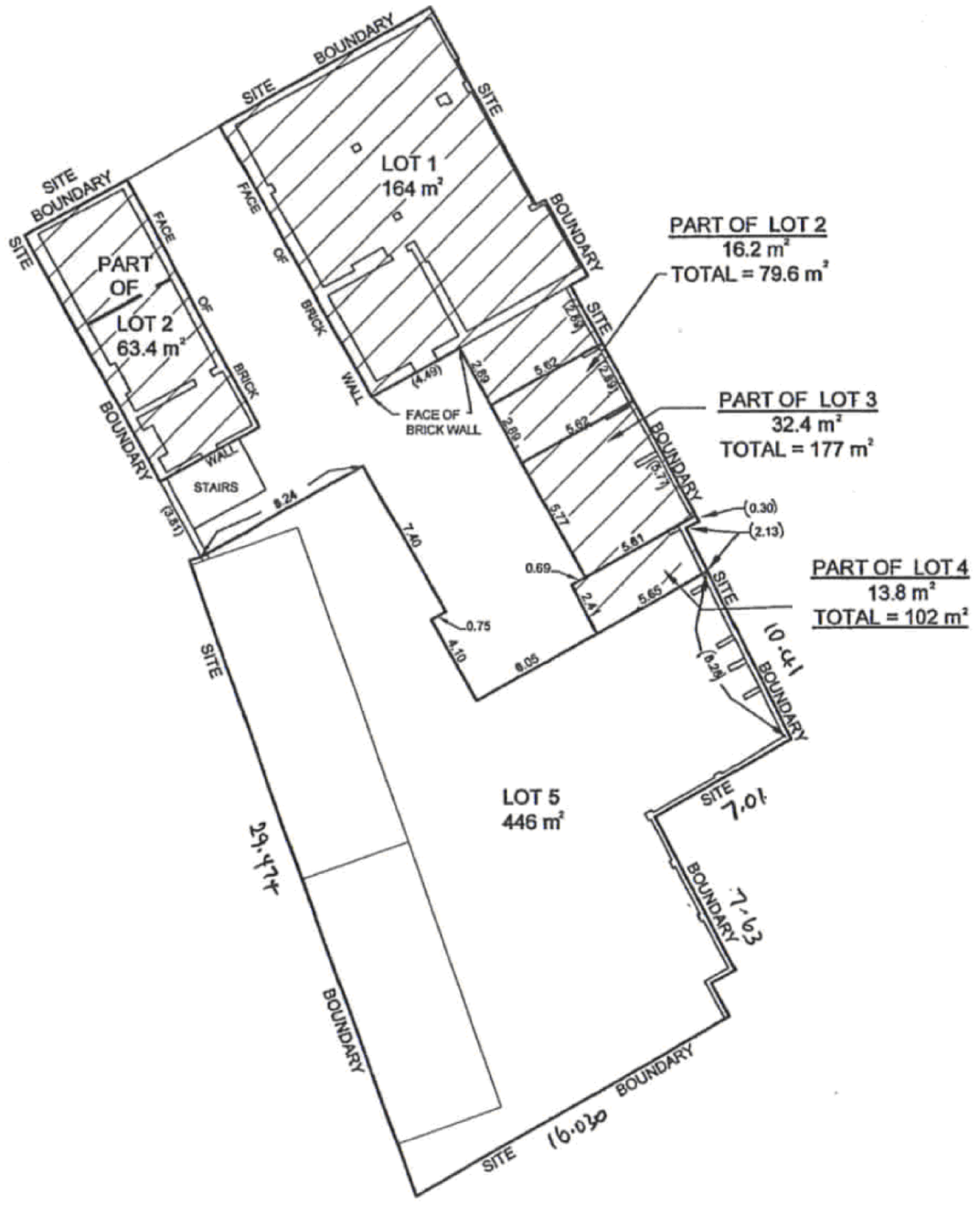

SURVEY EXTRACT

THE SURVEY EXTRACT ON THIS SHEET IS AS RECIEVED
AT THE TIME OF THESE PLANS.
IT IS THE RESPONSIBILITY OF THE OWNER & BUILDER
TO CLARIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT
OF WORKS ON SITE.
IF ANY DOUBT - CONTACT A SUITABLY QUALIFIED LAND SURVEYOR.
ALL SETOUT DIMENSIONS ARE TO BOUNDARIES ONLY.
DO NOT SETOUT FROM FENCES, DRIVEWAYS, ROADWAYS ETC.

SURVEY EXTRACT

PROPOSED TOWNHOUSE DEVELOPMENT
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LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
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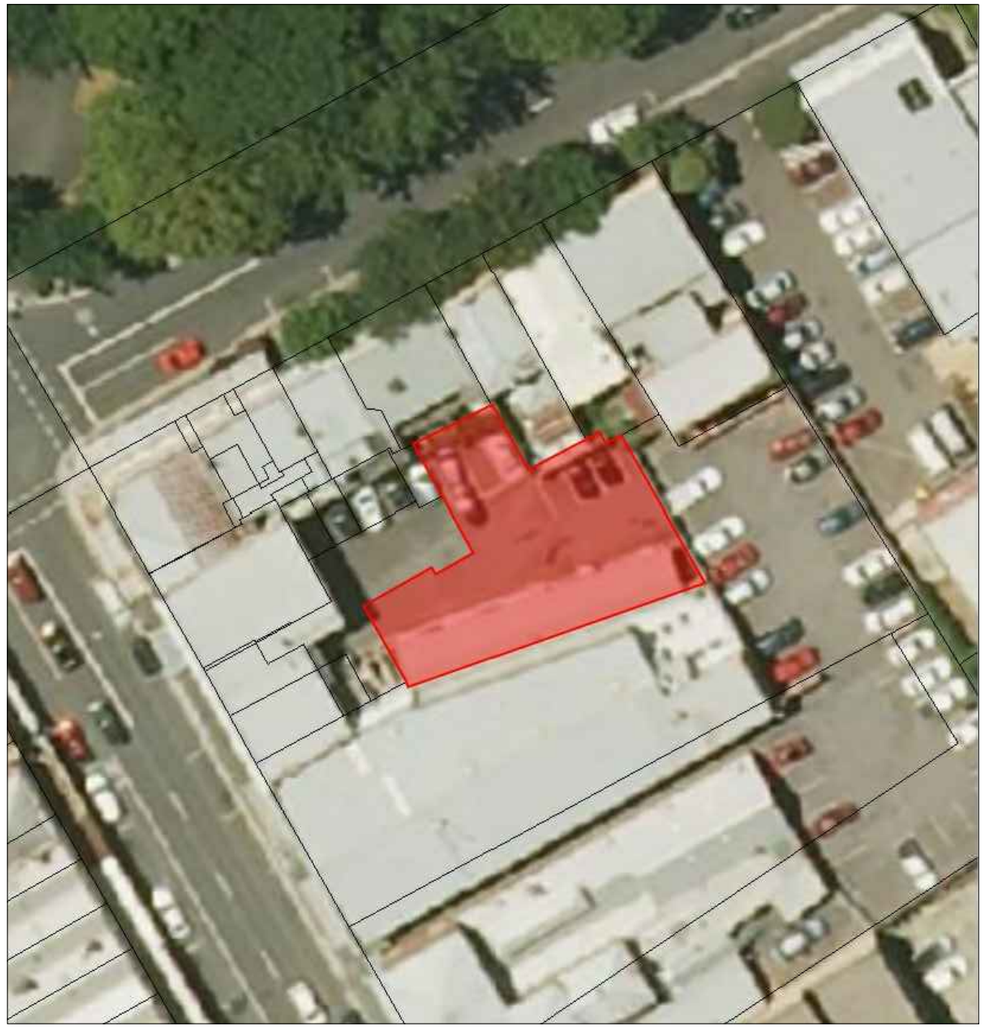

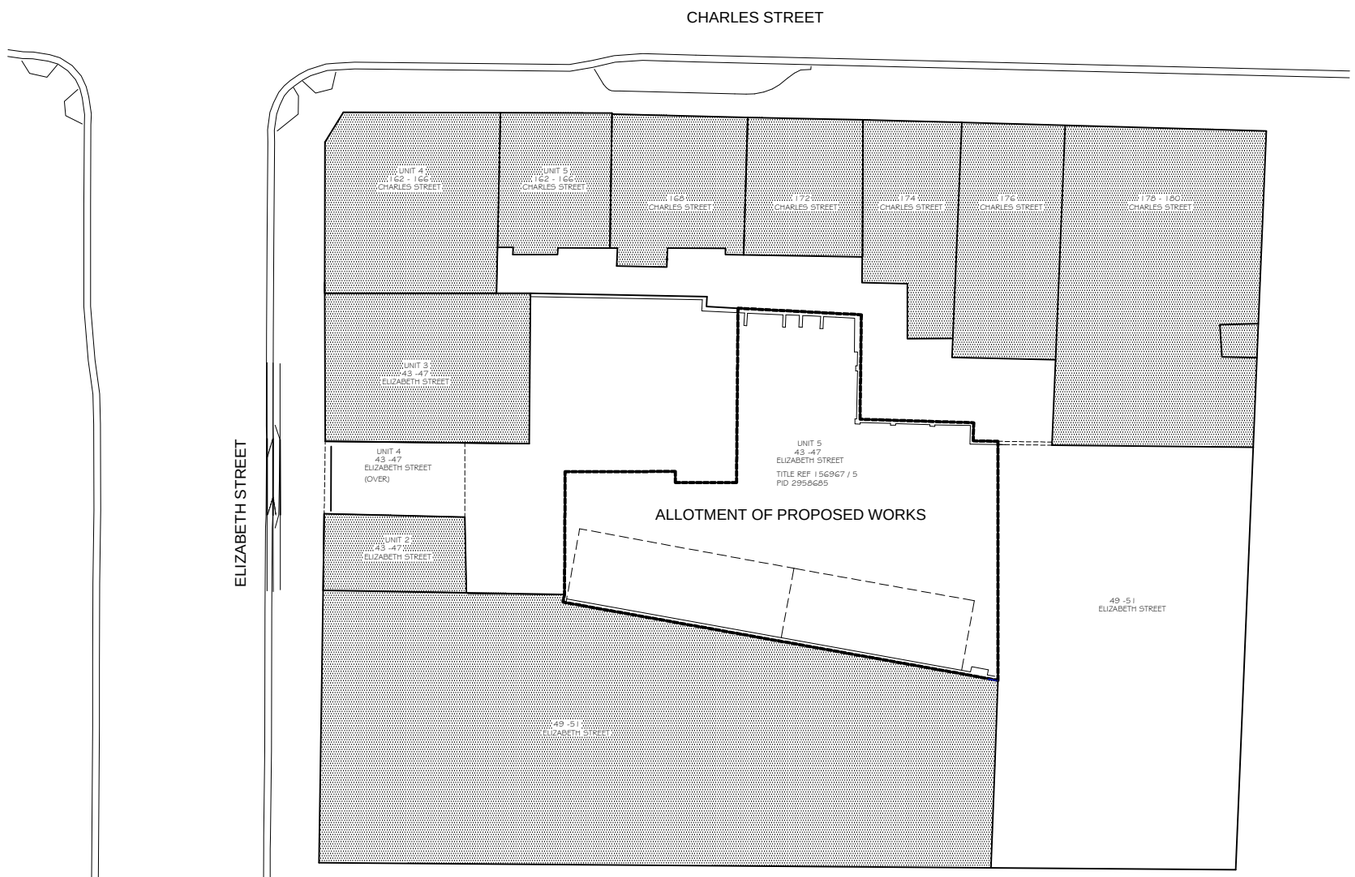

SITE IDENTIFICATION

SCALE: 1:500

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
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NOTES
ALL SITE DIMENSIONS ARE TO OUTSIDE CLADDING UNLESS OTHERWISE NOTED

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS

ALL SITE PREPARATION IS TO COMPLY WITH THE BCA

ENSURE FINISHED FLOOR LEVEL IS MIN 150mm ABOVE FINISHED GROUND LEVEL
ENSURE FINISHED FLOOR LEVEL OF A CONCRETE SLAB IS POSITIONED SO THAT THE ORG IS 150mm BELOW THE LOWEST PLUMBING FIXTURE AND ABOVE THE GROUND

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ARE TO COMPLY WITH THE BCA
- IF IN DOUBT ASK

THE BUILDER IS TO PROVIDE PROTECTION TO ADJOINING PROPERTIES AND BUILDINGS IN ACCORDANCE WITH THE BUILDING REGULATIONS

NOTE; ALL NEIGHBORING BUILDING LOCATIONS ARE APPROX ONLY; IF FURTHER INFORMATION IS REQUIRED CONSULT A LAND SURVEYOR

THE LEVEL INFORMATION PROVIDED ON THESE PLANS IS LIMITED ONLY AND ONLY TO BE USED FOR THE PURPOSE INTENDED
IF FURTHER INFORMATION IS REQUIRED CONSULT SURVEYOR

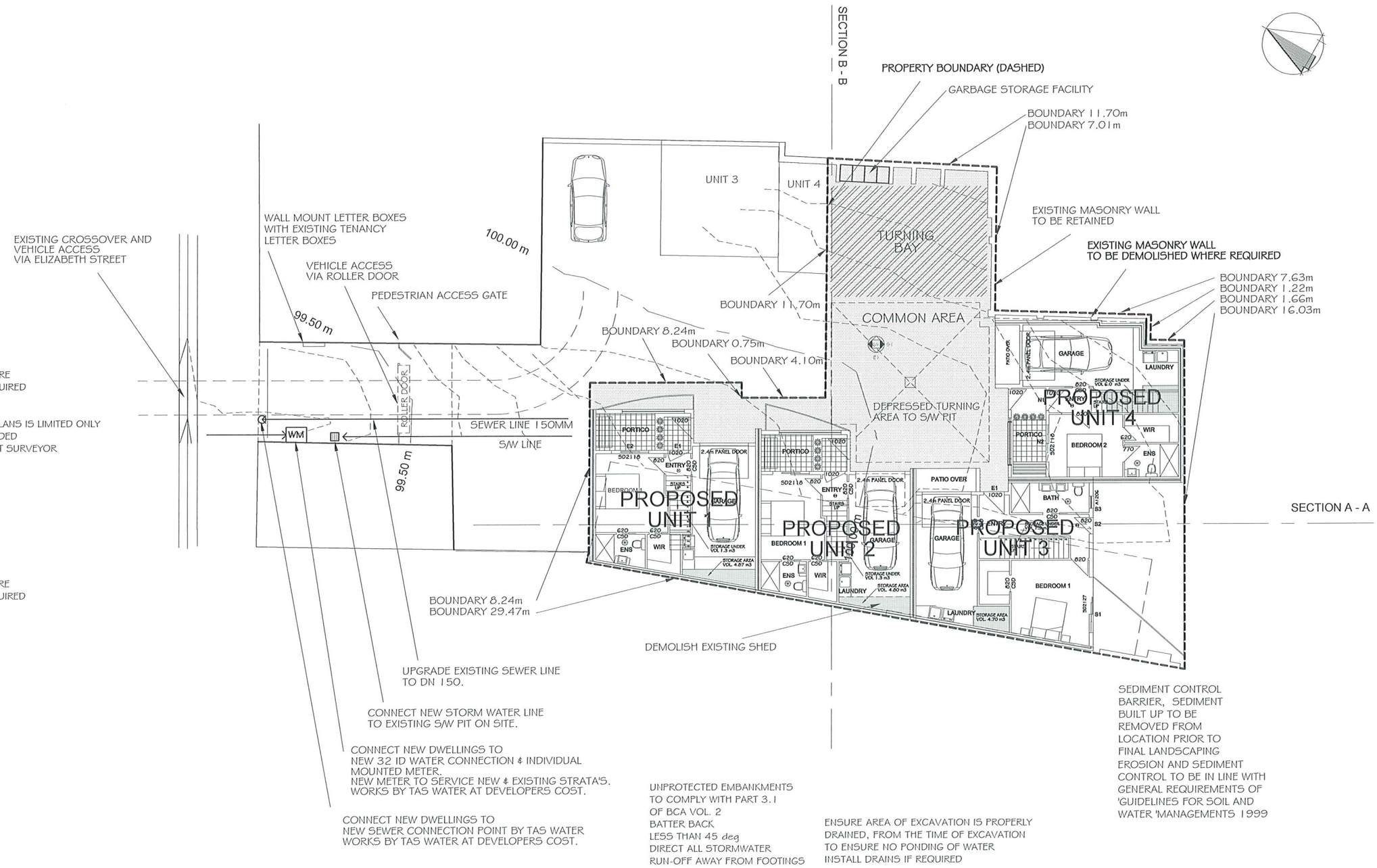
OUTDOOR CLOTHES DRYING AREA TO BE LOCATED ADJACENT AND ACCESSIBLE FROM LAUNDRY

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ARE TO COMPLY WITH THE BCA
- IF IN DOUBT ASK

NOTE; ALL NEIGHBORING BUILDING LOCATIONS ARE APPROX ONLY; IF FURTHER INFORMATION IS REQUIRED CONSULT A LAND SURVEYOR

CONCRETE OR PAVED PATH / DRIVEWAY TO ALL ACCESS DOORS TO DWELLING
ALL DRIVEWAYS, PATIOS & PATHS ARE TO BE CONSTRUCTED TO DIRECT S/W AWAY FROM DWELLING @ 1:50 MINIMUM GRADE AND HAVE A MAX STEP HEIGHT OF 180mm

DO NOT SCALE: IF IN DOUBT ASK



CONTOURS ARE INDICATIVE ONLY, GENERATED FROM LEVELS SPECIFICALLY TAKEN FOR THE PROPOSED BUILDING IN ITS PROPOSED LOCATION. THE CONTOURS DO NOT ALLOW FOR LOCAL UNDULATIONS. IF FOR ANY REASON THE DWELLING DOES NOT SUIT THE LEVEL INFORMATION SHOWN, THE PROJECT MANAGER IS TO NOTIFY THE DESIGNER AND BUILDING SURVEYOR AT THE TIME THIS IS DETERMINED.

THE LOCATIONS OF SERVICES INDICATED ON THIS DRAWING ARE INDICATIVE ONLY AND ALL SERVICE LOCATIONS SHOULD BE CONFIRMED PRIOR TO STARTING ON SITE.

SITE PLAN
SCALE: 1:200

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
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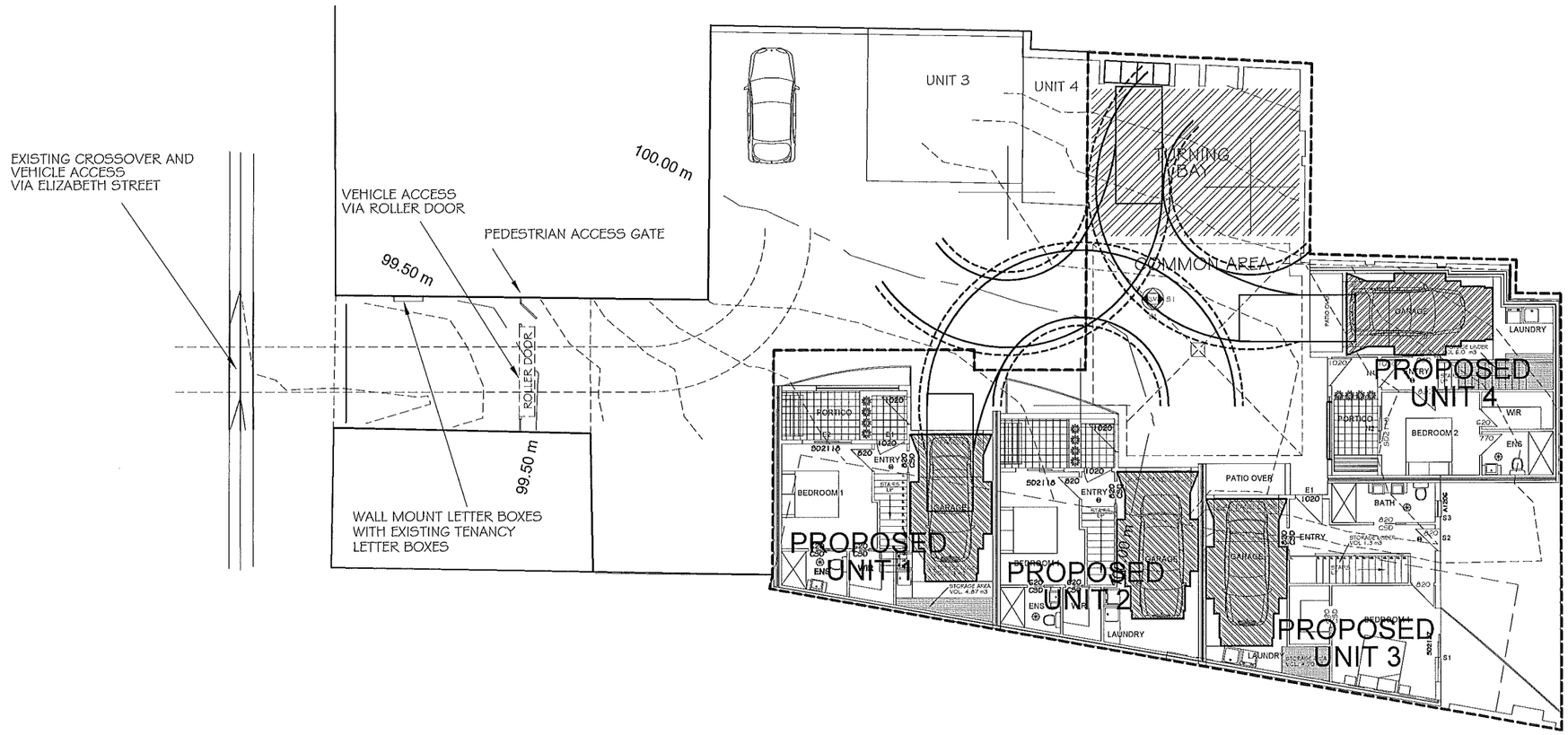

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PARKING & TURNING PLAN

SCALE: 1:200

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

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SITE ELEVATION E-1

SCALE: 1:100

SITE ELEVATION S-1

SCALE: 1:100

SITE ELEVATIONS

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

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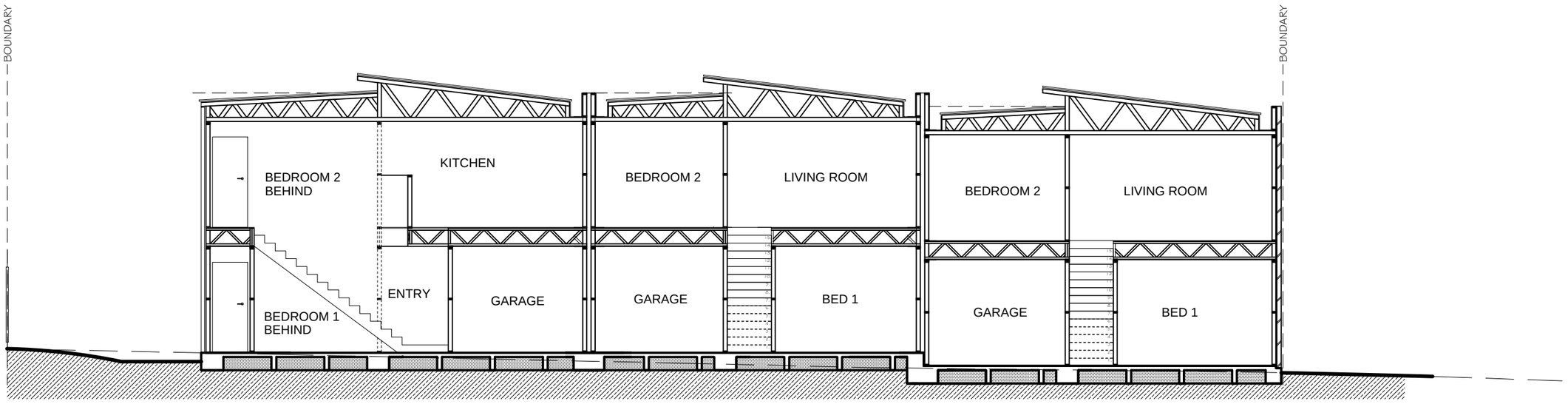
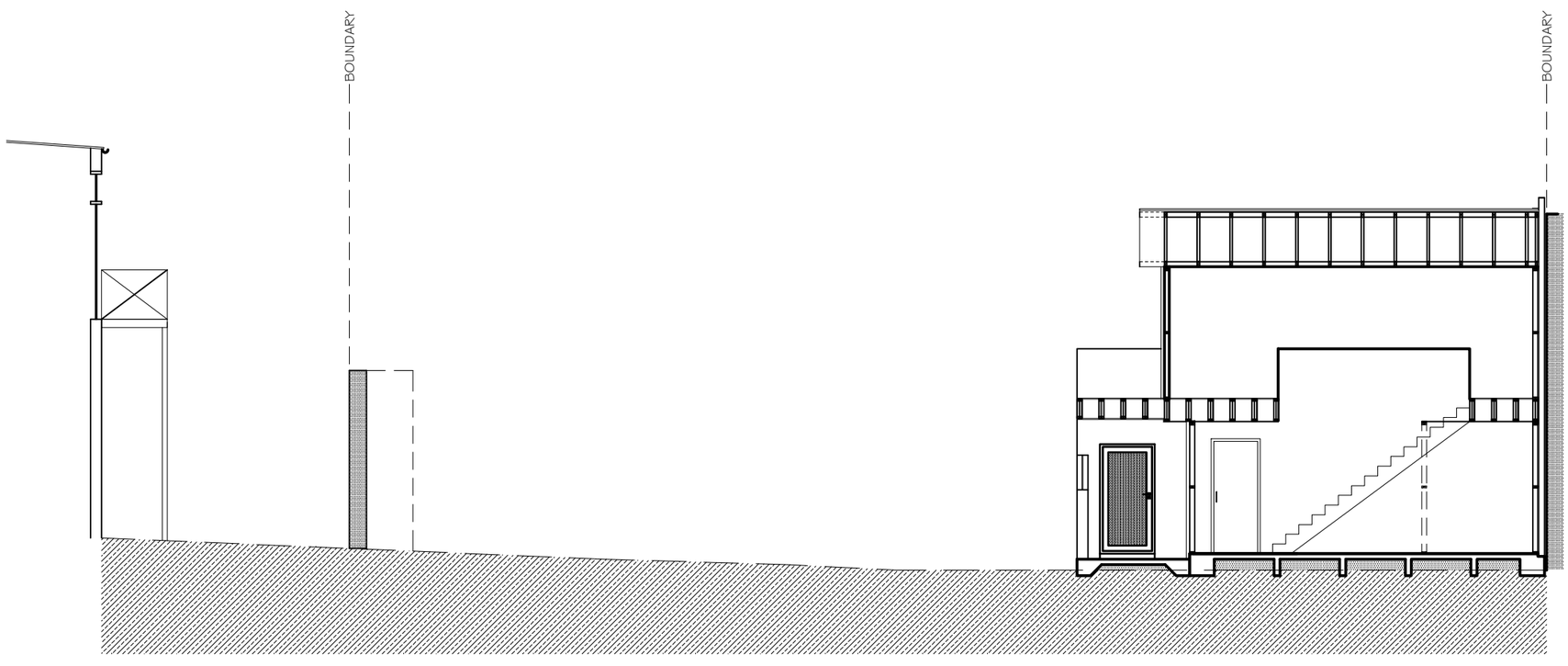


SITE SECTION A-A

SCALE: 1:100



SITE SECTION B-B

SCALE: 1:100

SITE SECTION

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
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NOTES

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DO NOT SCALE; IF IN DOUBT ASK

ENSURE FINISHED FLOOR LEVEL IS MINIMUM 150mm ABOVE FINISHED GROUND LEVEL

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE BUILDER IS TO PROVIDE PROTECTION TO ADJOINING PROPERTIES AND BUILDINGS IN ACCORDANCE WITH THE BUILDING REGULATIONS

THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND NEAREST PART OF THE DOORWAY

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ARE TO COMPLY WITH THE BCA - IF IN DOUBT ASK

LEGEND

EXHAUST FAN OR SIMILAR.
EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE / SELF CLOSING DAMPER. (TO B.C.A 3.12.3.4)
DUCT EXHAUST FAN TO EXTERIOR OF BUILDING
HARD WIRE TO LIGHT SWITCH TO NON VENTILATED ROOMS

LOCATION OF HARD-WIRED SMOKE ALARMS. SUPPLY AND FIT WHERE INDICATED ON PLAN, TO BCA 3.7.2 REQUIREMENTS. SMOKE ALARMS MUST BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.

CONCRETE OR PAVED PATH / DRIVEWAY TO ALL ACCESS DOORS TO DWELLING ALL DRIVEWAYS, PATIOS & PATHS ARE TO BE CONSTRUCTED TO DIRECT S/W AWAY FROM DWELLING @ 1:50 MINIMUM GRADE AND HAVE A MAX STEP HEIGHT OF 180mm

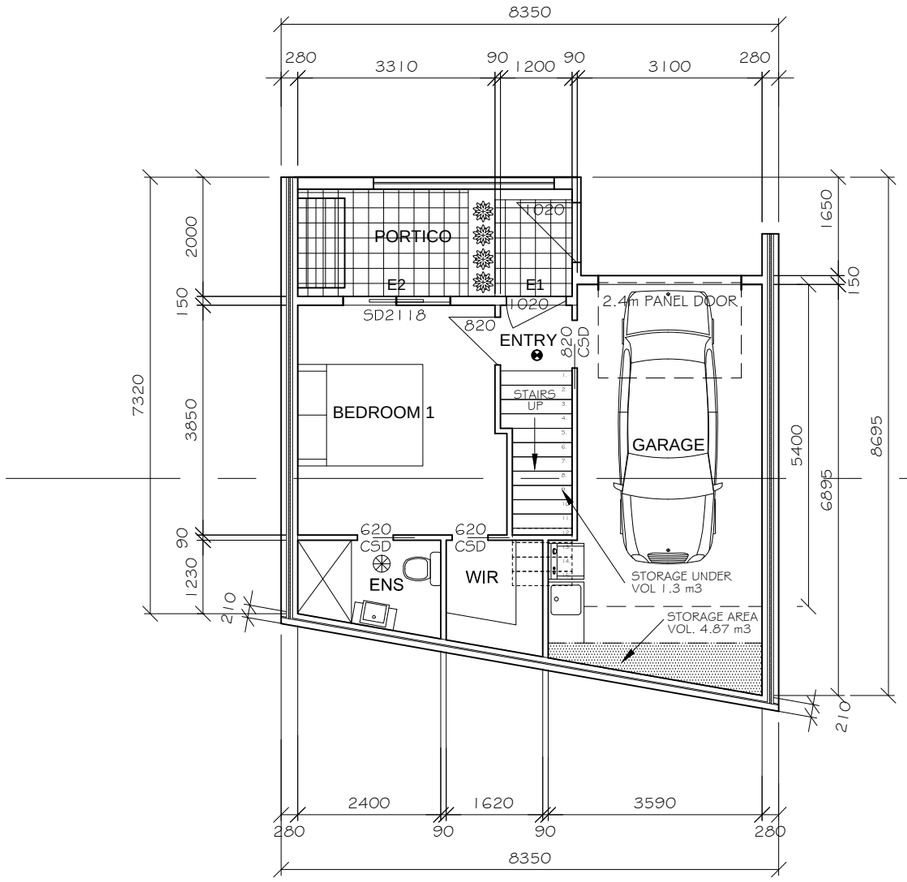
BRICK COLUMNS - 350x350
89x89x5 DURAGAL COLUMN - LOAD BEARING INSIDE 350x350 BRICK COLUMN

H.W HOT WATER CYLINDER

H.U REVERSE CYCLE HEAT PUMP INDOOR UNIT

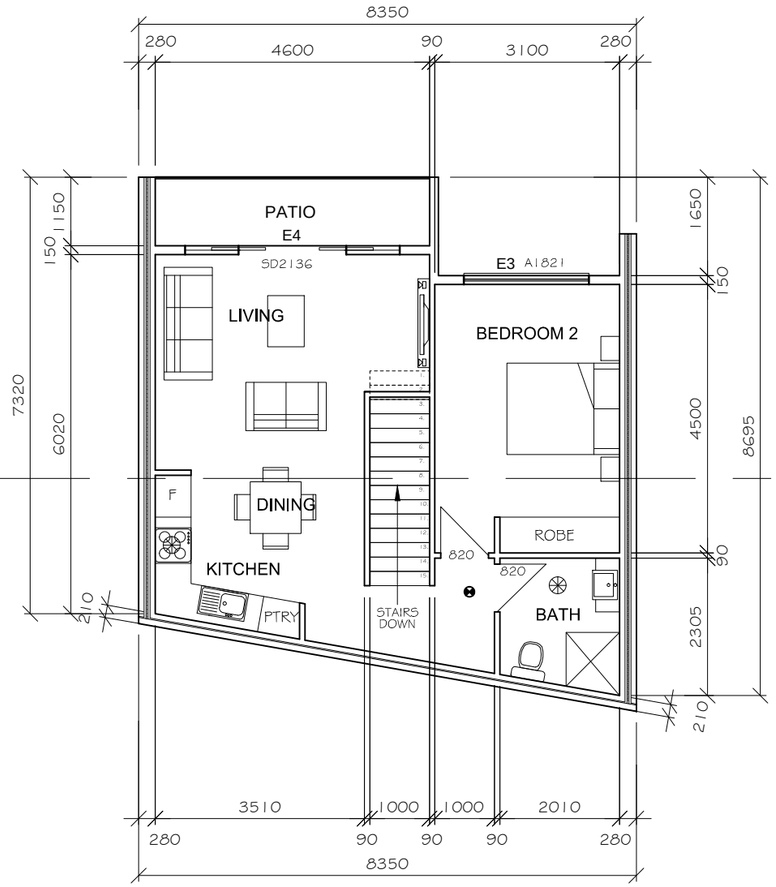
H.P REVERSE CYCLE HEAT PUMP OUTDOOR UNIT

FLOOR COVERINGS AS PER CONTRACT SPECIFICATION BETWEEN OWNER AND BUILDER.



LOWER FLOOR PLAN

SCALE: 1:100



UPPER FLOOR PLAN

SCALE: 1:100

UNIT 1

SECTION A - A

FLOOR PLANS

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
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LAUNCESTON

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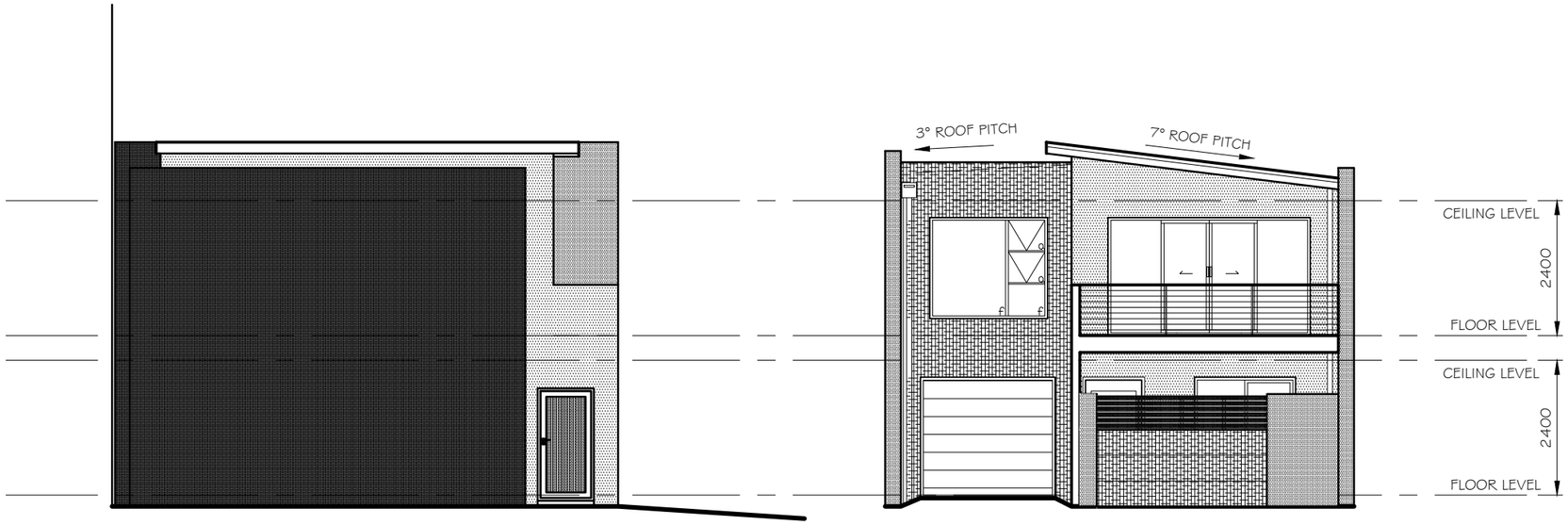

UNIT 1

FRONT ELEVATION

SCALE: 1:100

NGL —— —— NATURAL GROUND LEVEL

FGL ▬▬▬ FINISHED GROUND LEVEL

ELEVATIONS

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
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EAVES

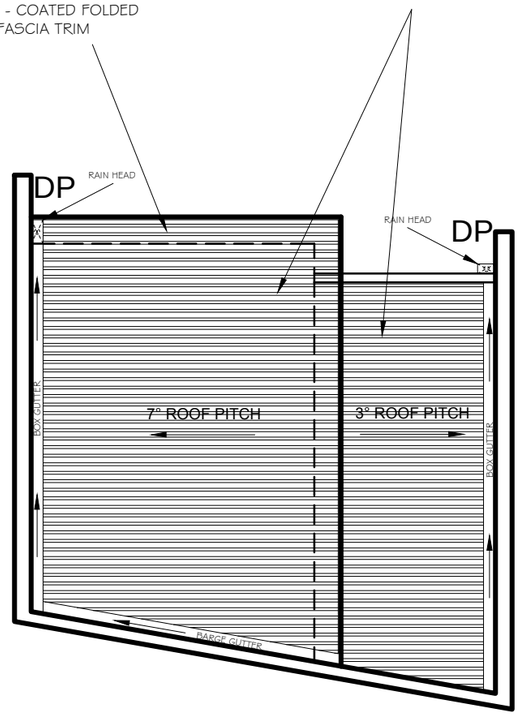
OVERHANG ROOFS 450mm
FRAME FOR LEVEL EAVES AND
LINE WITH FLEXBOARD SHEETING

FASCIA

COLORBOND PRE - COATED FOLDED
METAL GUTTER - FASCIA TRIM

ROOF FRAMING (LESS THAN 5 DEGREES)

TRIMDEK OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER ROOF
BATTENS (TO AS1684.2) AND APPROVED
ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE
WITH MANUFACTURERS RECOMMENDATIONS.
ALL FIXING DETAILS TO BE ADHERED TO.
SISILATE ROOF PRIOR TO SHEETING
ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO
PERIMETER WALLS ONLY - UNLESS OTHERWISE SPECIFIED



ROOF PLAN

SCALE: 1:100

GLASS SUPPLIES WINDOWS & DOORS

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS
& AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

WINDOWS TO BE CONSTRUCTED TO SHGc & U VALUES
AS SHOWN ON THE ENERGY RATING REPORT.

THE BUILDER TO PROVIDE / CONFIRM A SPECIFIC
WINDOW SCHEDULE WITH THE GLAZIER PRIOR TO MAKE

ENSURE GLAZIER IS SUPPLIED WITH FULL SET OF DRAWINGS,
ENERGY RATING AND WIND CLASSIFICATION

GLAZING: DOUBLE GLAZED
STYLE: AWNING

UNIT 1

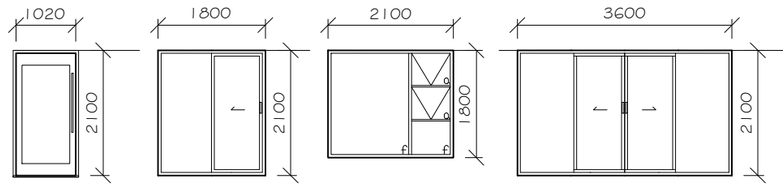
WINDOW HEAD HEIGHT

NIL

N1

NORTH ELEVATION

SCALE: 1:100



WINDOW HEAD HEIGHT

EAST ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

S1

SOUTH ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

W1

WEST ELEVATION

SCALE: 1:100

WINDOW SCHEDULE

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

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UNIT 1

WALL FRAMING

ALL TIMBER FRAMING GENERALLY COMPLY WITH BCA 3.4.3 & AS1684

WALL FRAMING TO BE MGP10 RADIATA PINE.

STUDS - 90x35 @ 450 CRS.
NOGGINGS - 90x35
OPEN STUDS - 90x35

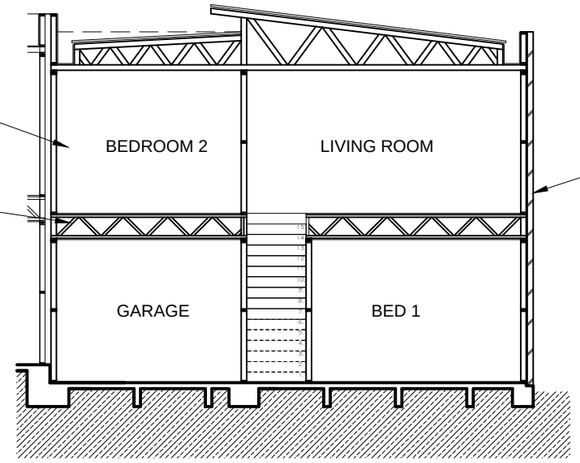
ALL LINTELS TO BE DESIGNED BY TRUSS MANUFACTURER. TAKING INTO ACCOUNT WHERE GIRDER TRUSSES, ETC, ARE LOCATED

TOP & BOTTOM PLATES - 90x35
BRACING TO ENGINEERS DETAILS

ALL TIMBER FRAMEWORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS1684

PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING.
SCOTIA CORNICE MOULD TO CEILING JUNCTION WITH WALL.
PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING
ALL UNDER ROOFS - ENTRY ROOFS ETC TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING UNLESS OTHERWISE NOTED



WINDOWS & DOORS

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SLIDING OR AWNING STYLE (CONFIRM WITH OWNER)
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS & AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

GUTTERS & DOWNPIPES TO BCA 3.5.2

WALL CLADDING TO BCA 3.5.3

ROOF CLADDING TO BCA 3.5.1

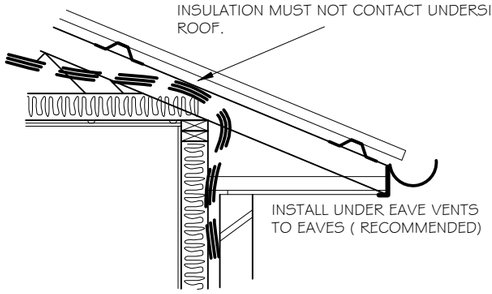
VENTILATION TO BCA 3.8.5

ALUMINIUM WINDOWS TO AS2047
GLAZING TO BCA PART 3.6 & AS1288

WET AREA LININGS TO BCA PART 3.8.1

GLAZED SHOWER SCREENS, DOORS & BATH ENCLOSURES TO BCA PART 3.6.9 & AS1288

CONSTRUCTION OF SANITARY COMPARTMENT TO BCA 3.8.3.3
LIFT-OFF HINGES TO DOORS IF REQUIRED



ALL SITE PREPARATION IS TO COMPLY WITH THE BCA
ENSURE FINISHED FLOOR LEVEL OF A CONCRETE SLAB IS POSITIONED SO THAT THE ORG IS 150mm BELOW THE LOWEST PLUMBING FIXTURE AND ABOVE THE GROUND

THE BUILDING MATERIALS SELECTED FOR USE IN THIS PROJECT NEED TO MEET THE RELEVANT CORROSION RESISTANT REQUIREMENTS FOR THE SURROUNDING ENVIRONMENT AND COMPATABILITY OF MATERIALS

THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND NEAREST PART OF THE DOORWAY

CONSTRUCTION OF STAIRS TO BCA PART 3.9.1, TREADS 240mm MIN & RISERS 190mm MAX

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ON THESE DRAWINGS ARE TO COMPLY WITH BCA. IF IN DOUBT ASK.

MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BCA AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDINGIF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED

TRUSS PLAN AND LINTEL SIZES ARE TO BE FOWARDED TO BUILDING SURVEYOR PRIOR TO FRAME INSPECTION

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SECTION A - A

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 036/72015
Date advertised: 06/02/2016
Planning Administrator

sheet: A.12 OF 43	
date: JUNE 2015	
scale: 1:100 @ A3	
design: JVZ	
drawn: JVZ	
ISSUE	PLANNING
PRINT DATE	21-Aug-15
drawing no: 5526	
AMENDMENT No.	
1.	
2.	
3.	

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(Building Selection Centre)
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URBAN design solutions

UNIT 2

NOTES

ALL SITE DIMENSIONS ARE TO OUTSIDE CLADDING UNLESS NOTED

DO NOT SCALE; IF IN DOUBT ASK

ENSURE FINISHED FLOOR LEVEL IS MINIMUM 150mm ABOVE FINISHED GROUND LEVEL

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE BUILDER IS TO PROVIDE PROTECTION TO ADJOINING PROPERTIES AND BUILDINGS IN ACCORDANCE WITH THE BUILDING REGULATIONS

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LEGEND

EXHAUST FAN OR SIMILAR.
EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE / SELF CLOSING DAMPER. (TO B.C.A 3.12.3.4)
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HARD WIRE TO LIGHT SWITCH TO NON VENTILATED ROOMS

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CONCRETE OR PAVED PATH / DRIVEWAY
TO ALL ACCESS DOORS TO DWELLING
ALL DRIVEWAYS, PATIOS & PATHS ARE TO BE CONSTRUCTED TO DIRECT S/W AWAY FROM DWELLING @ 1:50 MINIMUM GRADE AND HAVE A MAX STEP HEIGHT OF 180mm

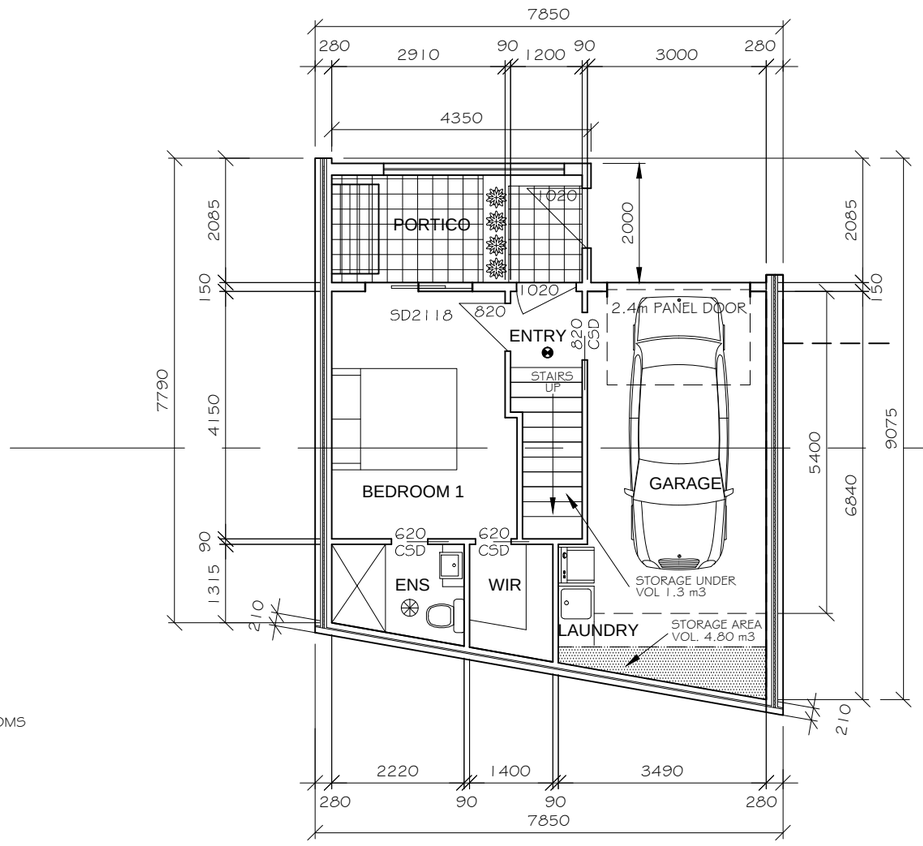
BRICK COLUMNS - 350x350
89x89x5 DURAGAL COLUMN - LOAD BEARING
INSIDE 350x350 BRICK COLUMN

H.W HOT WATER CYLINDER

H.U REVERSE CYCLE HEAT PUMP INDOOR UNIT

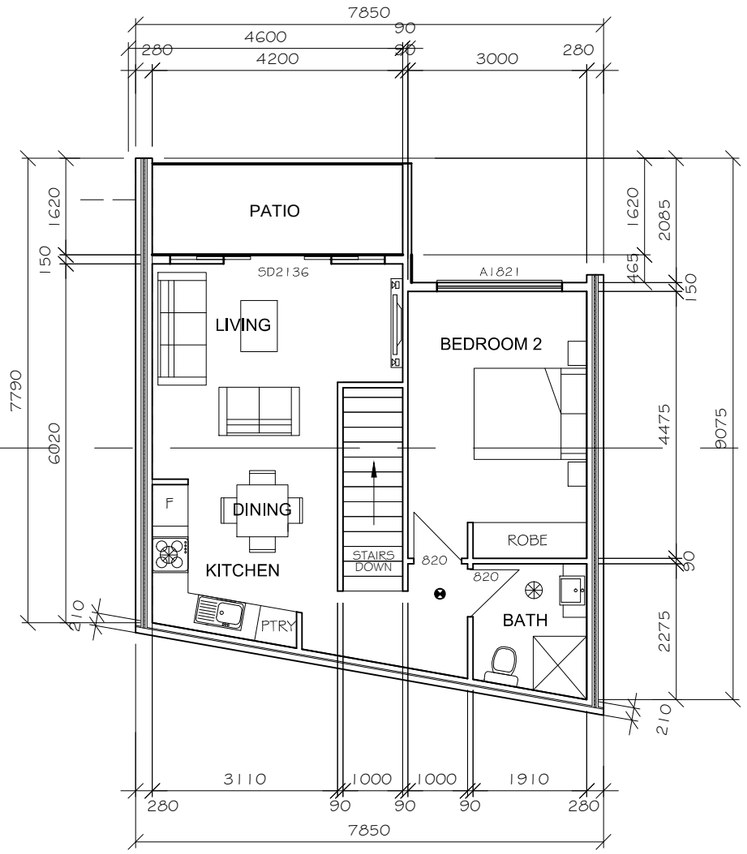
H.P REVERSE CYCLE HEAT PUMP OUTDOOR UNIT

FLOOR COVERINGS AS PER CONTRACT SPECIFICATION BETWEEN OWNER AND BUILDER.



LOWER FLOOR PLAN

SCALE: 1:100



UPPER FLOOR PLAN

SCALE: 1:100

SECTION A - A

LOWER FLOOR PLAN

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date advertised: 06/02/2016
Planning Administration

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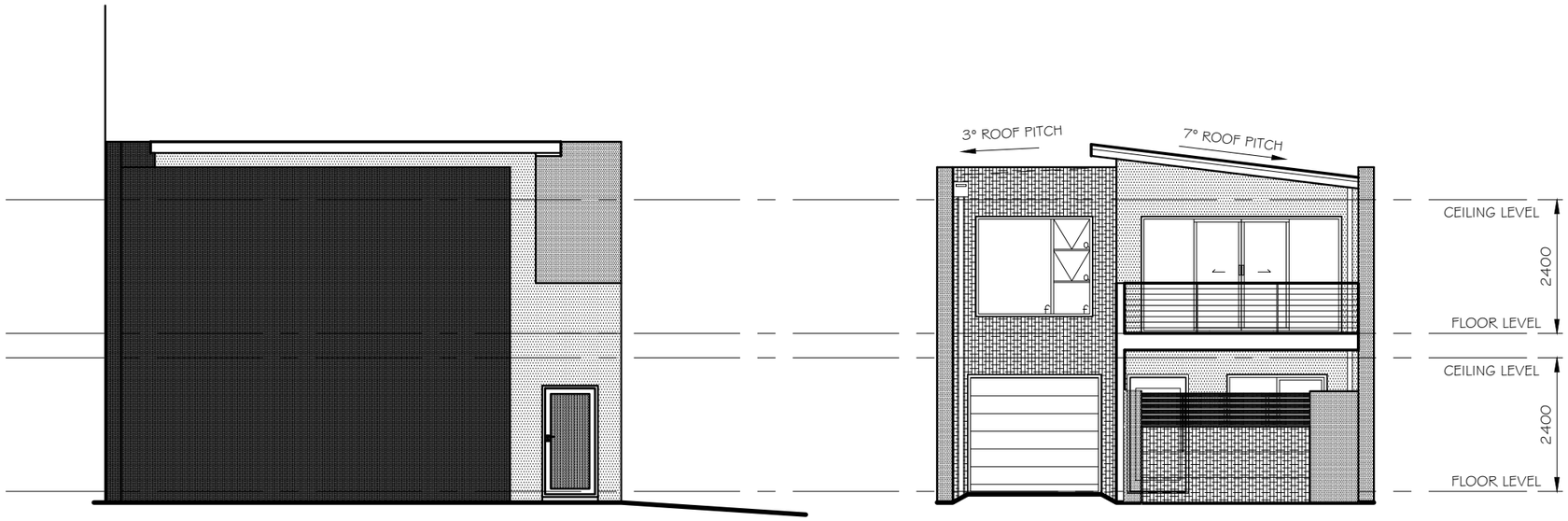
URBAN design solutions

UNIT 2



FRONT ELEVATION

SCALE: 1:100

NGL —— —— NATURAL GROUND LEVEL

FGL ▬▬▬ FINISHED GROUND LEVEL

ELEVATIONS

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date Received: 06/02/2016
Planning Administration Assistant

sheet: A.18 OF 43
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ISSUE
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URBAN design solutions

UNIT 2

GLASS SUPPLIES WINDOWS & DOORS

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS & AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

WINDOWS TO BE CONSTRUCTED TO SHGc & U VALUES AS SHOWN ON THE ENERGY RATING REPORT.

THE BUILDER TO PROVIDE / CONFIRM A SPECIFIC WINDOW SCHEDULE WITH THE GLAZIER PRIOR TO MAKE

ENSURE GLAZIER IS SUPPLIED WITH FULL SET OF DRAWINGS, ENERGY RATING AND WIND CLASSIFICATION

GLAZING: DOUBLE GLAZED
STYLE: AWNING

EAVES

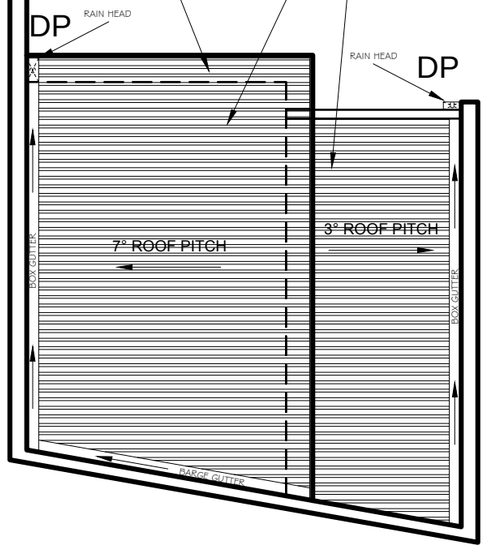
OVERHANG ROOFS 450mm
FRAME FOR LEVEL EAVES AND
LINE WITH FLEXBOARD SHEETING

FASCIA

COLORBOND PRE - COATED FOLDED
METAL GUTTER - FASCIA TRIM

ROOF FRAMING (LESS THAN 5 DEGREES)

TRIMDEK OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER ROOF
BATTENS (TO AS1684.2) AND APPROVED
ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE
WITH MANUFACTURERS RECOMMENDATIONS.
ALL FIXING DETAILS TO BE ADHERED TO.
SISILATE ROOF PRIOR TO SHEETING
ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO
PERIMETER WALLS ONLY - UNLESS OTHERWISE SPECIFIED



ROOF PLAN

SCALE: 1:100

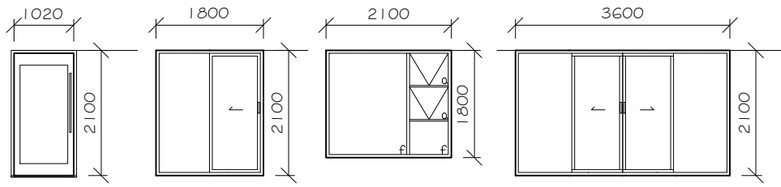
WINDOW HEAD HEIGHT

NIL

N1

NORTH ELEVATION

SCALE: 1:100



WINDOW HEAD HEIGHT

EAST ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

S1

SOUTH ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

W1

WEST ELEVATION

SCALE: 1:100

WINDOW SCHEDULE

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date exhibited: 06/02/2016
Planning Authority Officer

sheet: A.19 OF 43	
date: JUNE 2015	
scale: 1:100 @ A3	
design: JVZ	
drawn: JVZ	

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PLANNING

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URBAN design solutions

UNIT 2

WALL FRAMING

ALL TIMBER FRAMING GENERALLY COMPLY WITH BCA 3.4.3 & AS1684

WALL FRAMING TO BE MGP10 RADIATA PINE.

STUDS - 90x35 @ 450 CRS.
NOGGINGS - 90x35
OPEN STUDS - 90x35

ALL LINTELS TO BE DESIGNED BY TRUSS MANUFACTURER. TAKING INTO ACCOUNT WHERE GIRDER TRUSSES, ETC, ARE LOCATED

TOP & BOTTOM PLATES - 90x35
BRACING TO ENGINEERS DETAILS

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PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING.
SCOTIA CORNICE MOULD TO CEILING JUNCTION WITH WALL.
PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING
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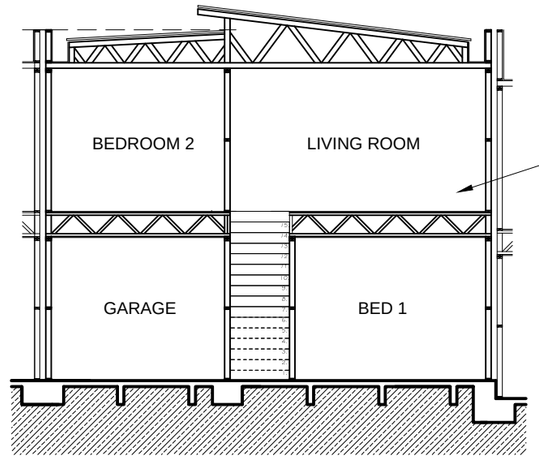


WINDOWS & DOORS

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SLIDING OR AWNING STYLE (CONFIRM WITH OWNER)
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS & AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

GUTTERS & DOWNPIPES TO BCA 3.5.2

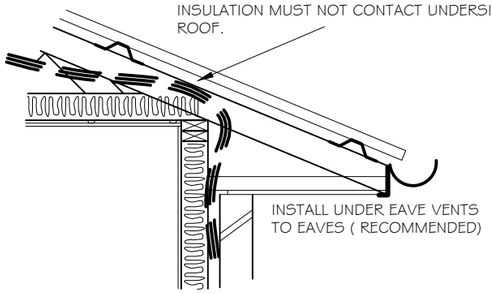
WALL CLADDING TO BCA 3.5.3

ROOF CLADDING TO BCA 3.5.1

VENTILATION TO BCA 3.8.5

ALUMINIUM WINDOWS TO AS2047
GLAZING TO BCA PART 3.6 & AS1288

ENSURE CEILING INSULATION IS INSTALLED IN SUCH A WAY THAT AIRFLOW IS PERMITTED FROM THRU THE WALL CAVITY AND ROOF SPACE INSULATION MUST NOT CONTACT UNDERSIDE OF ROOF.



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SECTION A - A

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date submitted: 06/02/2016
Planning Administration

sheet: A.20 OF 43	ISSUE
date: JUNE 2015	PLANNING
scale: 1:100 @ A3	PRINT DATE
design: JVZ	21-Aug-15
drawn: JVZ	

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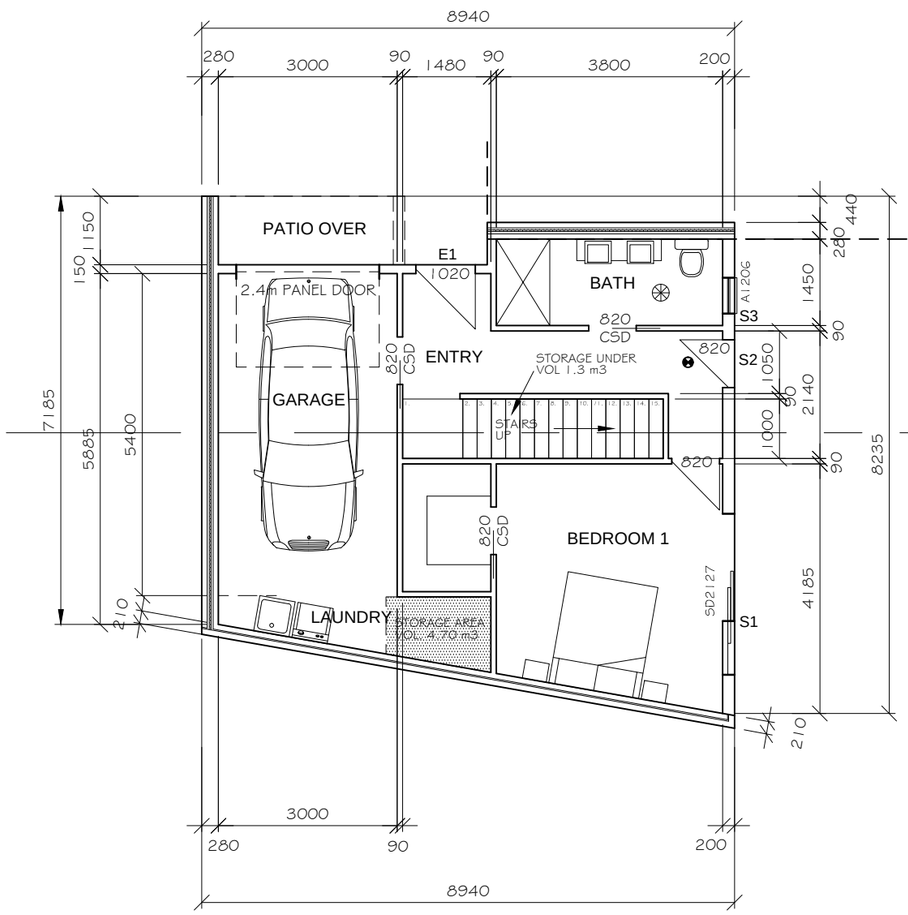
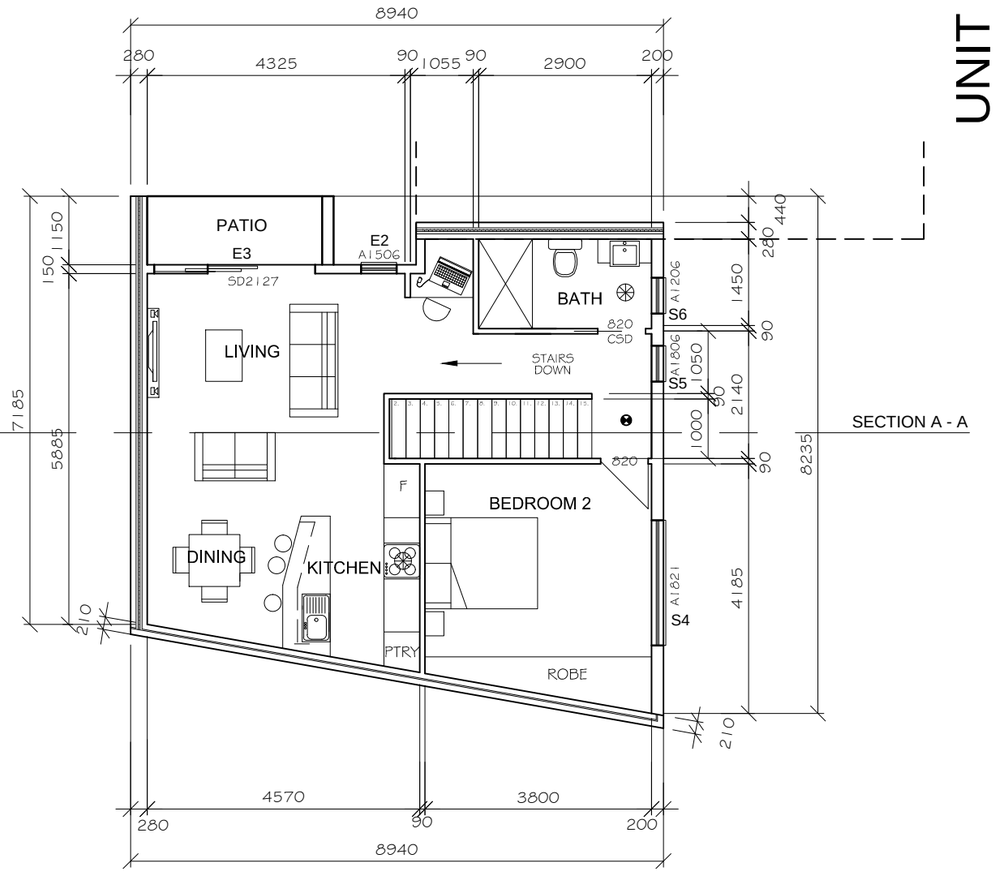


LOWER FLOOR PLAN

SCALE: 1:100



UPPER FLOOR PLAN

SCALE: 1:100

UNIT 3

SECTION A - A

LOWER FLOOR PLAN

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0087/2015
Date advertised: 06/02/2016
Planning Administration

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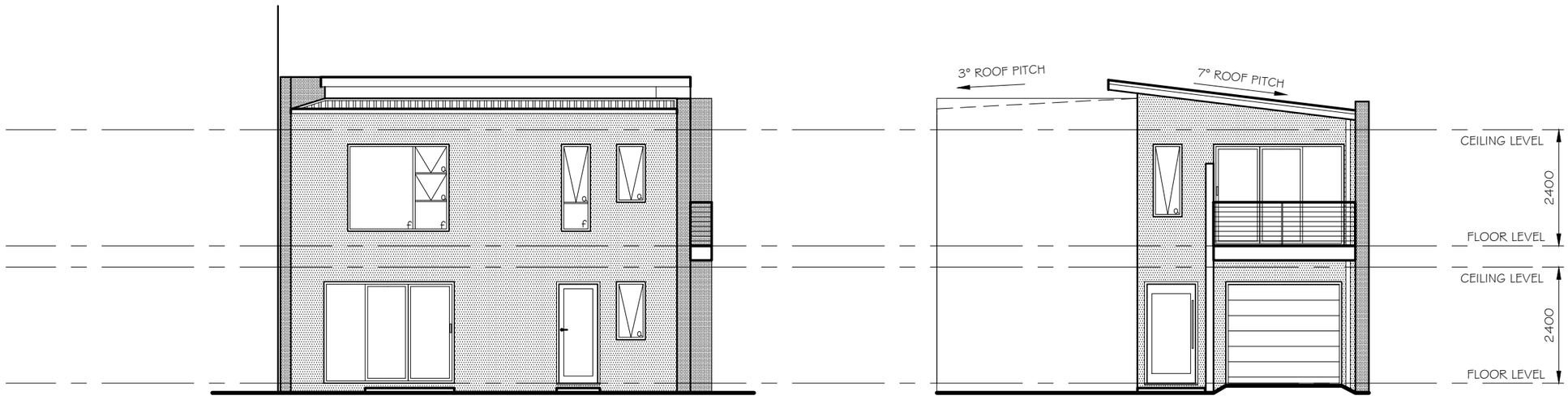

UNIT 3

FRONT ELEVATION

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date advertised: 06/02/2016
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UNIT 3

GLASS SUPPLIES WINDOWS & DOORS

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SELECTED MDF REVEALS & TRIMS
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VENTILATION TO BCA 3.8.5

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GLAZING: DOUBLE GLAZED
STYLE: AWNING

EAVES

OVERHANG ROOFS 450mm
FRAME FOR LEVEL EAVES AND
LINE WITH FLEXBOARD SHEETING

FASCIA

COLORBOND PRE - COATED FOLDED METAL GUTTER - FASCIA TRIM

ROOF FRAMING (LESS THAN 5 DEGREES)

TRIMDEK OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER ROOF BATTENS (TO AS1684.2) AND APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
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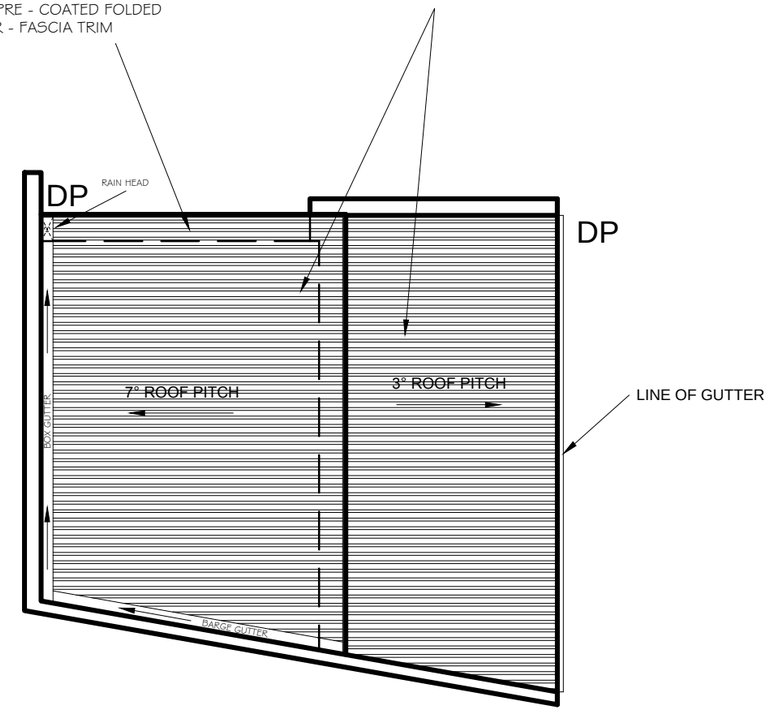


ROOF PLAN

SCALE: 1:100

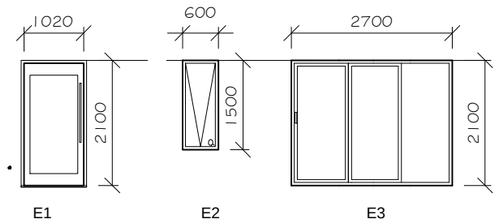
WINDOW HEAD HEIGHT

NIL

N1

NORTH ELEVATION

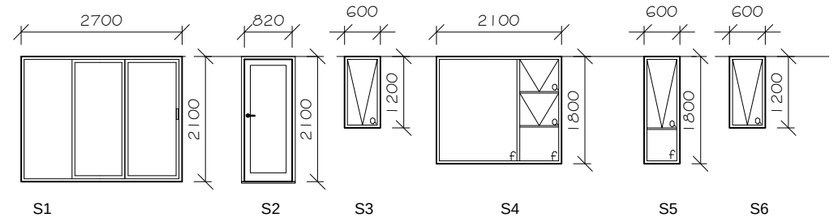
SCALE: 1:100



WINDOW HEAD HEIGHT

EAST ELEVATION

SCALE: 1:100



WINDOW HEAD HEIGHT

SOUTH ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

W1

WEST ELEVATION

SCALE: 1:100

WINDOW SCHEDULE

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 036702015
Date Received: 06/02/2015

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URBAN design solutions

UNIT 3

WALL FRAMING

ALL TIMBER FRAMING GENERALLY COMPLY WITH BCA 3.4.3 & AS1684

WALL FRAMING TO BE MGP10 RADIATA PINE.

STUDS - 90x35 @ 450 CRS.
NOGGINGS - 90x35
OPEN STUDS - 90x35

ALL LINTELS TO BE DESIGNED BY TRUSS MANUFACTURER. TAKING INTO ACCOUNT WHERE GIRDER TRUSSES, ETC, ARE LOCATED

TOP & BOTTOM PLATES - 90x35
BRACING TO ENGINEERS DETAILS

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PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING.
SCOTIA CORNICE MOULD TO CEILING JUNCTION WITH WALL.
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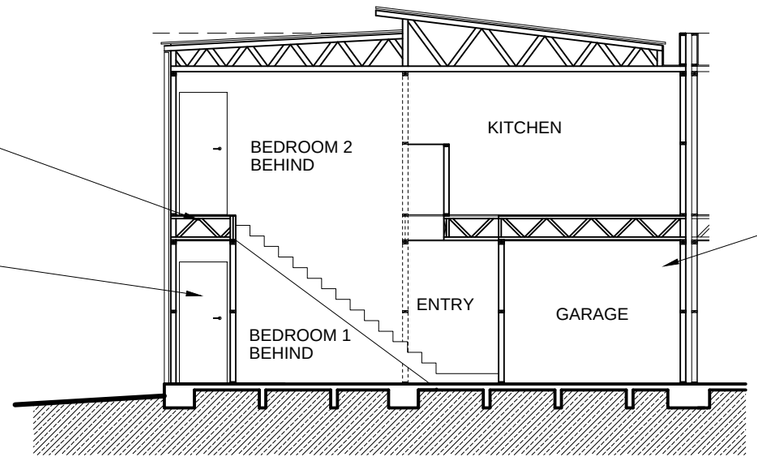

WINDOWS & DOORS

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SLIDING OR AWNING STYLE (CONFIRM WITH OWNER)
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS & AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

GUTTERS & DOWNPIPES TO BCA 3.5.2

WALL CLADDING TO BCA 3.5.3

ROOF CLADDING TO BCA 3.5.1

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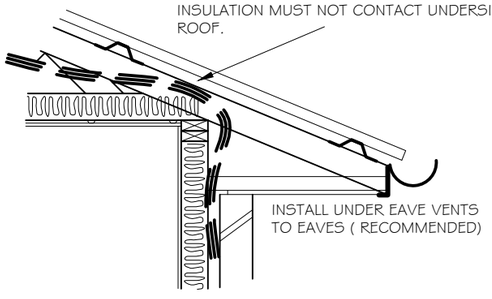
ALUMINIUM WINDOWS TO AS2047
GLAZING TO BCA PART 3.6 & AS1288

WET AREA LININGS TO BCA PART 3.8.1

GLAZED SHOWER SCREENS, DOORS & BATH ENCLOSURES TO BCA PART 3.6.9 & AS1288

CONSTRUCTION OF SANITARY COMPARTMENT TO BCA 3.8.3.3
LIFT-OFF HINGES TO DOORS IF REQUIRED



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CONSTRUCTION OF STAIRS TO BCA PART 3.9.1, TREADS 240mm MIN & RISERS 190mm MAX

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ON THESE DRAWINGS ARE TO COMPLY WITH BCA. IF IN DOUBT ASK.

MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BCA AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDINGIF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED

TRUSS PLAN AND LINTEL SIZES ARE TO BE FOWARDED TO BUILDING SURVEYOR PRIOR TO FRAME INSPECTION

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ARE TO COMPLY WITH THE BCA - IF IN DOUBT ASK

SECTION A - A

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
Ref. No: DA 0367/2015
Date advertised: 06/02/2016
Planning Administrator

sheet:	A.28 OF 43
date:	JUNE 2015
scale:	1:100 @ A3
design:	JVZ
drawn:	JVZ

ISSUE
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PRINT DATE
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AMENDMENT No.
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3.

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URBAN design solutions

UNIT 4

NOTES

ALL SITE DIMENSIONS ARE TO OUTSIDE CLADDING UNLESS NOTED

DO NOT SCALE; IF IN DOUBT ASK

ENSURE FINISHED FLOOR LEVEL IS MINIMUM 150mm ABOVE FINISHED GROUND LEVEL

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. THE BUILDER IS TO PROVIDE PROTECTION TO ADJOINING PROPERTIES AND BUILDINGS IN ACCORDANCE WITH THE BUILDING REGULATIONS

THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND NEAREST PART OF THE DOORWAY

ALL OTHER MATTERS NOT SPECIFICALLY MENTIONED ARE TO COMPLY WITH THE BCA - IF IN DOUBT ASK

LEGEND

EXHAUST FAN OR SIMILAR.
EXHAUST FANS MUST BE FITTED WITH A SEALING DEVICE / SELF CLOSING DAMPER. (TO B.C.A 3.12.3.4)
DUCT EXHAUST FAN TO EXTERIOR OF BUILDING
HARD WIRE TO LIGHT SWITCH TO NON VENTILATED ROOMS

LOCATION OF HARD-WIRED SMOKE ALARMS.
SUPPLY AND FIT WHERE INDICATED ON PLAN,
TO BCA 3.7.2 REQUIREMENTS.
SMOKE ALARMS MUST BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.

CONCRETE OR PAVED PATH / DRIVEWAY
TO ALL ACCESS DOORS TO DWELLING
ALL DRIVEWAYS, PATIOS & PATHS ARE TO BE CONSTRUCTED TO DIRECT S/W AWAY FROM DWELLING @ 1:50 MINIMUM GRADE AND HAVE A MAX STEP HEIGHT OF 180mm

BRICK COLUMNS - 350x350
89x89x5 DURAGAL COLUMN - LOAD BEARING
INSIDE 350x350 BRICK COLUMN

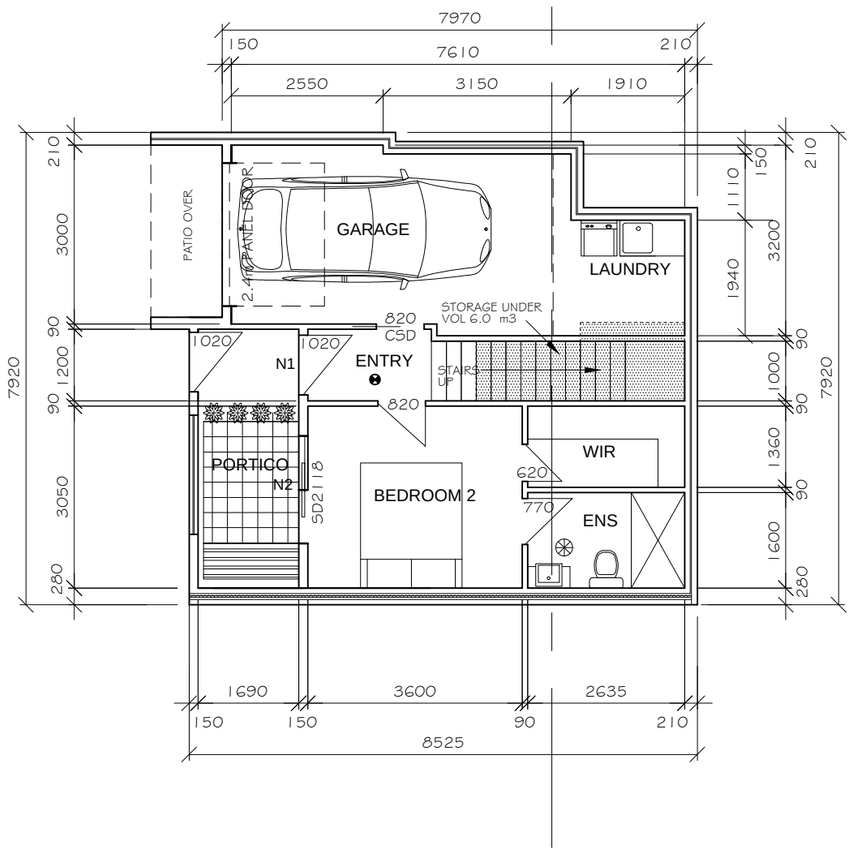
H.W HOT WATER CYLINDER

H.U REVERSE CYCLE HEAT PUMP INDOOR UNIT

H.P REVERSE CYCLE HEAT PUMP OUTDOOR UNIT

FLOOR COVERINGS AS PER CONTRACT SPECIFICATION BETWEEN OWNER AND BUILDER.

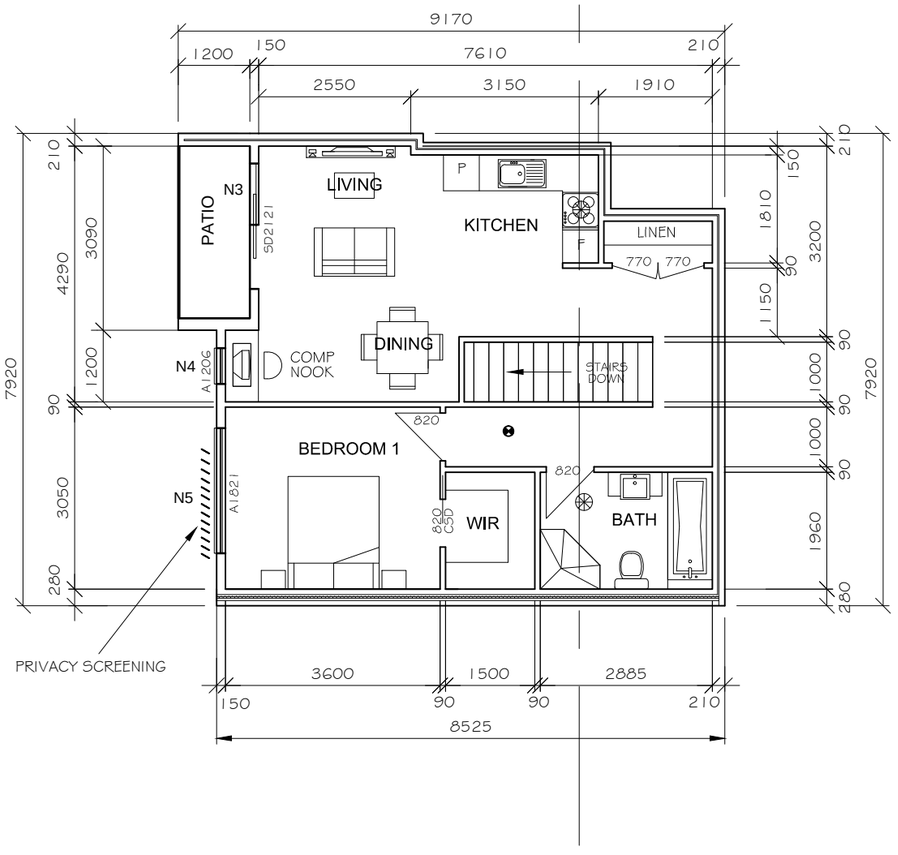
SECTION A - A



LOWER FLOOR PLAN

SCALE: 1:100

SECTION A - A



UPPER FLOOR PLAN

SCALE: 1:100

LOWER FLOOR PLAN

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

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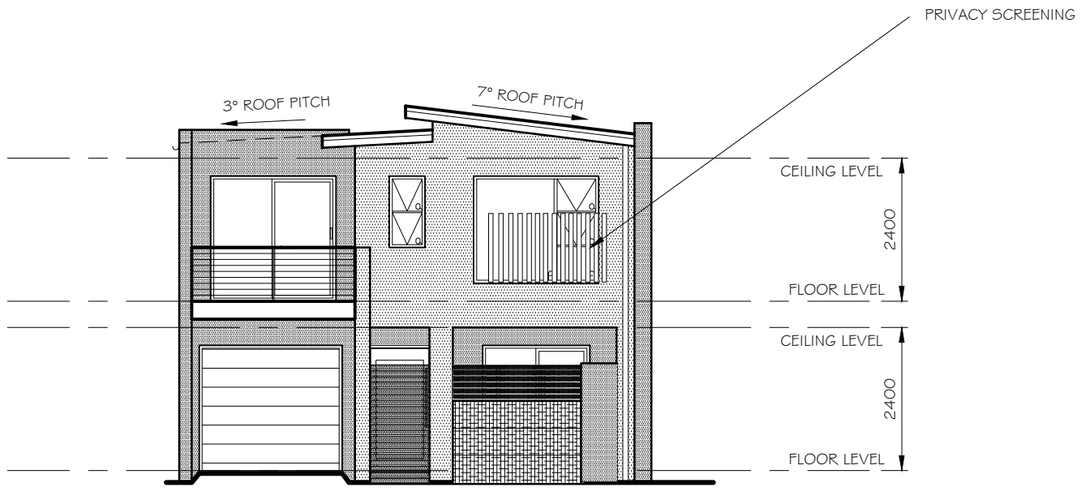
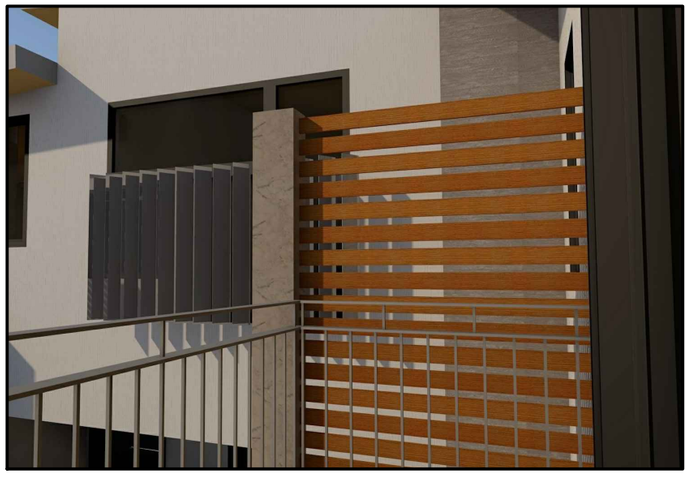
URBAN design solutions

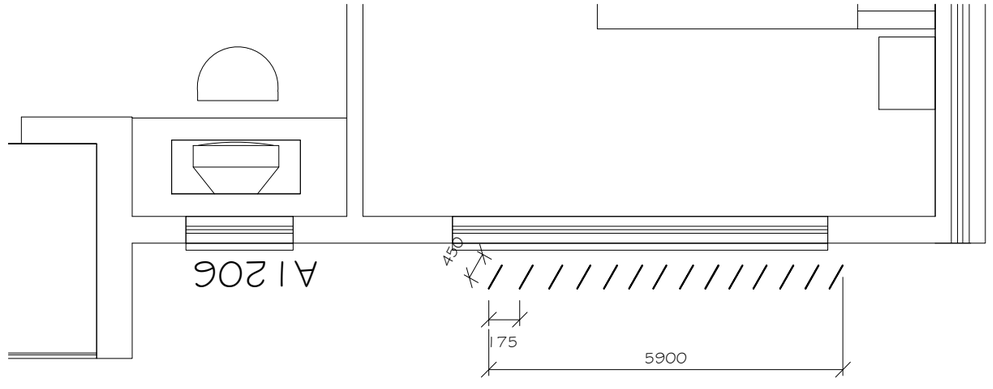
UNIT 4



FRONT ELEVATION

SCALE: 1:100





PRIVACY SCREENING

SCALE: NTS

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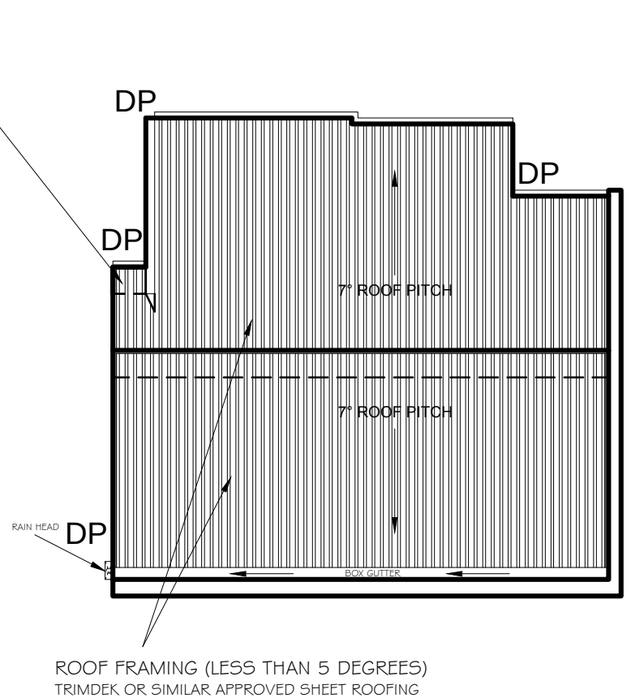
UNIT 4

EAVES

OVERHANG ROOFS 450mm
FRAME FOR LEVEL EAVES AND
LINE WITH FLEXBOARD SHEETING

FASCIA

COLORBOND PRE - COATED FOLDED
METAL GUTTER - FASCIA TRIM



ROOF FRAMING (LESS THAN 5 DEGREES)

TRIMDEK OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER ROOF
BATTENS (TO AS1684.2) AND APPROVED
ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE
WITH MANUFACTURERS RECOMMENDATIONS.
ALL FIXING DETAILS TO BE ADHERED TO.
SISILATE ROOF PRIOR TO SHEETING
ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO
PERIMETER WALLS ONLY - UNLESS OTHERWISE SPECIFIED

ROOF PLAN

SCALE: 1:100

GLASS SUPPLIES WINDOWS & DOORS

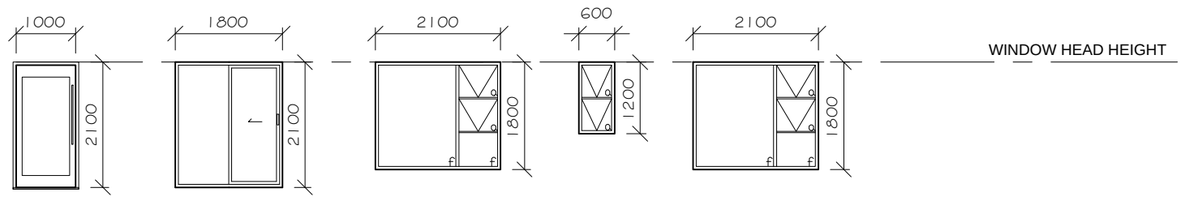
SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
SELECTED MDF REVEALS & TRIMS
INSTALL TO MANUFACTURERS SPECIFICATIONS
& AS2047. GLAZING TO BCA PART 3.6 & AS1288.
VENTILATION TO BCA 3.8.5

WINDOWS TO BE CONSTRUCTED TO SHGc & U VALUES
AS SHOWN ON THE ENERGY RATING REPORT.

THE BUILDER TO PROVIDE / CONFIRM A SPECIFIC
WINDOW SCHEDULE WITH THE GLAZIER PRIOR TO MAKE

ENSURE GLAZIER IS SUPPLIED WITH FULL SET OF DRAWINGS,
ENERGY RATING AND WIND CLASSIFICATION

GLAZING: DOUBLE GLAZED
STYLE: AWNING



NORTH ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

E1

EAST ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

S1

SOUTH ELEVATION

SCALE: 1:100

WINDOW HEAD HEIGHT

NIL

W1

WEST ELEVATION

SCALE: 1:100

WINDOW SCHEDULE

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

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URBAN design solutions

UNIT 4

WALL FRAMING

ALL TIMBER FRAMING GENERALLY COMPLY WITH BCA 3.4.3 & AS1684

WALL FRAMING TO BE MGP10 RADIATA PINE.

STUDS - 90x35 @ 450 CRS.
NOGGINGS - 90x35
OPEN STUDS - 90x35

ALL LINTELS TO BE DESIGNED BY TRUSS MANUFACTURER. TAKING INTO ACCOUNT WHERE GIRDER TRUSSES, ETC, ARE LOCATED

TOP & BOTTOM PLATES - 90x35
BRACING TO ENGINEERS DETAILS

ALL TIMBER FRAMEWORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS1684

PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING.
SCOTIA CORNICE MOULD TO CEILING JUNCTION WITH WALL.
PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING
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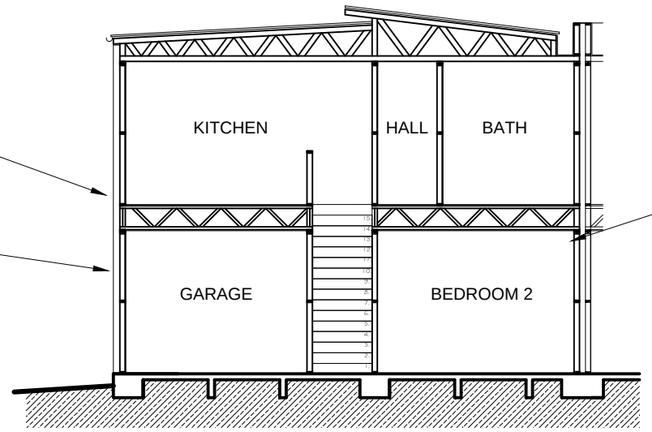

WINDOWS & DOORS

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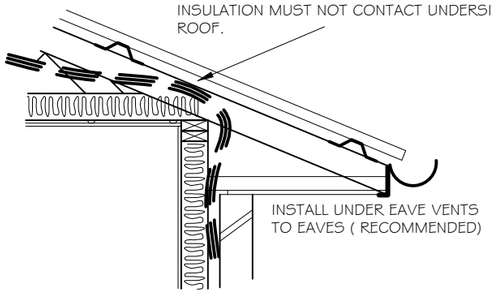

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SECTION A - A

SCALE: 1:100

PROPOSED TOWNHOUSE DEVELOPMENT
LOT 5, UNIT 5, 43 - 47 ELIZABETH STREET
LAUNCESTON

PLANNING EXHIBITED DOCUMENTS
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URBAN design solutions

Rebecca Green & Associates

Planning Department
Launceston City Council
PO Box 396
LAUNCESTON TAS 7250

20 July 2015

Dear Sir/madam,

RE: Development Application –43-47 Elizabeth Street, Launceston

This letter is prepared in support of a proposal by Urban Design Solutions for the use and construction of four (4) townhouses at Unit 5, 43-47 Elizabeth Street, Launceston, identified in CT 156967/5.

Each townhouse (unit) will comprise two storeys with shared access off Elizabeth Street (via common property) and the provision of three visitor car parking spaces. Unit 1 and 2 will accommodate on the ground floor, one bedroom with ensuite and walk-in-robe, single car garage and laundry as well as a portico adjacent to the entry. The first floor level will comprise of a second bedroom, bathroom and combined kitchen, dining and living opening out to an adjacent patio.

Unit 3 will accommodate on the ground floor, one bedroom with walk-in-robe, bathroom, entry, laundry and single car garage as well as an internal courtyard. The first floor level will comprise of a second bedroom, a second bathroom and combined kitchen, dining and living opening out to an adjacent patio.

Unit 4 will accommodate on the ground floor, one bedroom with ensuite and walk-in-robe, single car garage and laundry as well as a portico adjacent to the entry. The first floor level will comprise of a second bedroom with walk-in-robe, bathroom, and a combined kitchen, dining and living with a computer nook opening out to an adjacent patio.

15.0 Urban Mixed Use Zone
15.1 Zone Purpose

15.1.1.1 To provide for integration of residential, retail, community services and commercial activities in urban locations.

15.1.1.2 To provide for a diverse range of urban uses and increased intensity of development including residential densities that support the role of activity centres.

15.1.1.3 To encourage residential, visitor accommodation and tourist operation uses as a means of increasing activity outside normal business hours.

15.1.1.4 To create:

(a) activity at pedestrian levels, with active road frontages offering interest and engagement to shoppers; and

(b) appropriate provision of car parking, pedestrian access and traffic circulation.

Proposal Response

The proposal furthers the purpose of the zone. The design of the dwellings provides an appropriate response to the location of the site, within the CBD of Launceston, and provides residential development and higher density development where surrounding uses are primarily retail and commercial operations.

15.2 Use Table

The proposed use best fits the use class of Residential of which is a Discretionary use within the Urban Mixed Use Zone, as the proposal is for multiple dwellings that are located on both ground and first floor levels.

Residential as defined by the Scheme means:

> "use of land for self contained or shared living accommodation. Examples include an ancillary dwelling, boarding house, communal residence, home-based business, hostel, residential aged care home, residential college, respite centre, retirement village and single or multiple dwellings."

15.3 Use Standards – Not applicable.

15.4 Development Standards

15.4.1 Building height, setback and siting

Objective: **To ensure that building bulk and form, and siting:** **(a) Is compatible with the streetscape and character of the surrounding area;** **(b) Protects the amenity of adjoining lots; and** **(c) Promotes and maintains high levels of public interaction and amenity.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1 Building height must be no greater than: (a) 12m; or (b) 1m greater than the average of the building heights on the site or adjoining lots; Whichever is higher.	P1 Building height must be compatible with the streetscape and character of the surrounding area, having regard to: (a) The topography of the site; (b) The height of buildings on the site, adjoining lots and adjacent lots; (c) The bulk and form of existing and proposed buildings; (d) The apparent height when viewed from roads	*The proposal complies with the acceptable solution. The units are less than 12 metres in height.*

	and public places; and (e) Any overshadowing of adjoining lots or public places.	
A2 Setback from a frontage: (a) Must be built to the frontage at ground level; or (b) Be setback a distance that is not more or less than the maximum or minimum setbacks of the buildings on adjoining lots.	P2 Buildings must be sited to be compatible with the streetscape and character of the surrounding area, having regard to: (a) The level of public interaction and amenity, and pedestrian activity; (b) The topography of the site; (c) The setbacks of surrounding building; (d) The height bulk and form of existing and proposed buildings; (e) The appearance when viewed from roads and public places; (f) The retention of vegetation; (g) The existing or proposed landscaping; and (h) The safety of road users.	*The proposal complies with the acceptable solution. The setback distance is not more or less than the maximum and minimum setbacks of the buildings on adjoining lots. The proposal represents infill within the central area of Launceston, promoting increased densities of residential development.*
A3 Setback from a side boundary: (a) Must be built to the side boundaries at ground level; or (b) Be setback a distance that is not more or less than the maximum and minimum setbacks of the buildings on adjoining lots.	P3 Buildings must be sited such that there is no unreasonable loss of amenity to the occupiers of adjoining lots, having regard to: (a) The topography of the site; (b) The size, shape, and orientation of the site; (c) The setbacks of surrounding building; (d) The height bulk and form of existing and proposed buildings; (e) The existing buildings and private open space areas on the site; (f) The privacy to private open space and windows	*The proposal complies with the acceptable solution. The setback distance is not more or less than the maximum and minimum setbacks of the buildings on adjoining lots.*

	of habitable rooms on adjoining lots; (g) Sunlight to private open space and windows of habitable rooms on adjoining lots; (h) Any existing screening or the ability to implement screening; and (i) The character of the surrounding area.	

15.4.2 Location of car parking

Objective:
To ensure that car parking:
(a) Does not detract from the streetscape; and
(b) Provides for vehicle and pedestrian safety.

Acceptable Solution	Performance Criteria	*Proposal Response*
A1 Car parking must be located: (a) Within the building structure; or (b) Behind the building.	P1 Car parking must be located to minimise its visibility from a road, mall, laneway or arcade, having regard to: (a) The existing streetscape; (b) The location of the car parking; (c) Vehicle and pedestrian traffic safety; (d) Measures to screen parking; and (e) Any landscaping proposed.	*The proposal complies with the acceptable solution. The car parking provided is located both within the structure (garages for each unit) and also behind the building, as the visitor parking is located internal to the strata lot and behind the setback of Unit 1.*

15.4.3 Active ground floors

Objective:
To ensure that building facades promote and maintain high levels of pedestrian interaction and amenity.

Acceptable Solution	Performance Criteria	*Proposal Response*
A1 New buildings with non-residential uses on ground floors must: (a) Have clear glazing, display windows or glass doorways for a minimum of 80% of	P1 New building must be designed to maximise interaction between the use of the building and pedestrians, having regard to: (a) An adequate level of glazing, openness and transparency on the	*Not applicable. The proposal is for a residential use.*

all ground floor facades to, roads, malls, laneways or arcades; (b) Not have security grilles or screens that obscure the ground floor facades to roads, malls, laneways or arcades; (c) Not have mechanical plant or equipment, such as air conditioning units or heat pumps located on the façade; and (d) Not have blank walls, signage panels or blocked out windows, wider than 2m on ground floor facades to roads, malls, laneways or arcades.	ground floor facades to roads, malls, laneways or arcades; (b) The potential for security grilles or screens to reduce the amenity of the building or reduce levels of interaction with the public; (c) Screening or obscuring all mechanical plant or equipment such as air conditioning units or heat pumps so they are not recognisable or visible from ground level public view points; and (d) Minimising the area of all blank walls, signage panels or blocked out windows on ground floor facades to roads, malls, laneways or arcades.	
A2 Alterations to ground floor facades of non-residential buildings must not: (a) Reduce the level of glazing on a façade to a road, mall, laneway or arcade that is present prior to alterations; (b) Have security grilles or screens that obscure the ground floor facades to roads, malls, laneways or arcades; (c) Introduce new of additional mechanical plant or equipment, such as air conditioning units or heat pumps located on the façade; and (d) increase blank walls, signage panels or blocked out windows,	P2 Alterations to ground floor facades of non-residential buildings must be designed to maximise interaction between the use of the building and pedestrians, having regard to: (a) the level of glazing, openness and transparency on the ground floor facades to roads, malls, laneways or arcades; (b) The potential for security grilles or screens to reduce the amenity of the building or reduce levels of interaction with the public; (c) Screening or obscuring all mechanical plant or equipment such as air conditioning units or heat pumps so they are not recognisable or visible from ground level public view points; and (d) Minimising the area of all	*Not applicable. The proposal is for a residential use.*

wider than 2m on ground floor facades to roads, malls, laneways or arcades.	blank walls, signage panels or blocked out windows on ground floor facades to roads, malls, laneways or arcades.	
A3 The building must: (a) Provide a direct access for pedestrians from the road or publicly accessible areas; and (b) Be orientated to face a road, mall, laneway or arcade, except where the development is not visible from these locations.	P3 Buildings must be clearly visible from the road or publicly accessible areas, having regard to: (a) The safety and convenience of pedestrians; and (b) The existing streetscape.	*The proposal complies with the acceptable solution. Direct access for pedestrians from Elizabeth Street is provided through common property via an access way. The development is not visible from a road, mall, laneway or arcade as it is an internal strata lot.*
A4 The total width of the door or doors on a garage facing a frontage must be no wider than 6m.	P4 Garage doors should not be a visually dominant element in the streetscape and must be designed, having regard to: (a) The location of existing buildings on the site; (b) The existing streetscape; and (c) The design and locations of garages in the surrounding area.	*Not applicable, no door or doors on a garage face to a frontage. The strata lot is an internal lot.*

15.4.4 Pedestrian access to dwellings

Objective: **To ensure pedestrian access to residential development is safe and convenient.**		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1.1 New dwelling or residential developments must be provided with a pedestrian access independent of the access to any ground floor use in the building, or tenancies on the same site or within the same building; and A1.2 Pedestrian access directly	P1 New dwellings or residential developments must be provided with appropriate pedestrian access for the future residents, having regard to: (a) The use of the ground floor frontage; (b) Accessibility arrangements; (c) The size and visibility of	*The proposal complies with the acceptable solution. Pedestrian access is available through common property on the ground floor level to each dwelling via an access way off Elizabeth Street. A separate pedestrian access gate*

onto a road frontage must be no wider than 4m.	the proposed entrance; and (d) The opportunities for access onto roads and other publicly accessible areas.	*is provided adjacent to the vehicular access to the site.*

15.4.5 Daylight to windows

Objective: **To allow adequate daylight into habitable room windows.**		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1 Where the minimum distance between: (a) A new window in a habitable room and an existing building; or (b) A new building constructed directly opposite an existing habitable room window, Is less than 3m, a light court with an area of no less than $3m^2$ and dimension of no less than 1m clear to the sky must be provided.	P1 Buildings must provide for adequate levels of daylight to habitable rooms and existing windows within adjoining buildings, having regard to: (a) The level of daylight available to the habitable rooms; (b) Any existing vegetation; and (c) The topography of the site.	*The proposal complies with the acceptable solution. New windows in habitable rooms and existing buildings are at least 3 metres apart. Also, the new buildings are at least 3 metres from any existing habitable room windows.*

15.4.6 Private open space

Objective: **To provide adequate and useable private open space for the needs of residents.**		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1 Dwellings must have an area of private open space with direct access from a habitable room other than a bedroom, comprising: (a) On the ground floor, $24m^2$ with a horizontal dimension of no less than 3m;or (b) Wholly above ground floor, $8m^2$ with a minimum horizontal dimension of 2m; or	P1 Dwellings must be provided with sufficient private open space to meet the reasonable needs of the residents having regard to: (a) The size and useability of the private open spaces; (b) The accessibility of the private open space; (c) The availability of common open space; (d) The availability of and access to public open space;	*The proposal complies with the acceptable solution for Unit 3 which provides for a courtyard on the ground floor level of some $37.82m^2$, as well as providing a patio on the first floor level with an area of $3.59m^2$.* *The proposal relies upon assessment against the*

(c) A roof-top area, 10m^2 with a minimum horizontal dimension of 2m.	(e) The orientation of the lot to the road; and (f) The ability of the private open space to receive adequate solar access.	*performance criteria for Units 1, 2 and 4.* *Unit 1 provides a portico of 8.28m^2 and a patio of 5.29m^2. Unit 2 provides a portico of 7.56m^2 and a patio of 6.48m^2. Unit 4 provides a portico of 7.61m^2 and a patio of 3.28m^2.* *The private open space of units 1,2 and 4 will receive morning sun with sufficient size to the patio's to enable a small table and chairs and the patio's open up to the living area providing an indoor/outdoor space and feel. The portico of each unit provides an area for clothes drying as well as a small level of landscaping, again opening from the ground floor bedroom, creating an indoor/outdoor experience. The lot is an internal strata lot with an area of common space in the front of all units. The subject site is within very close walking distance to Princes Square which is a large public open space, available for the benefit and enjoyment of the occupants of the proposal.*
A2 Private open space must receive a minimum of 4 hours of direct sunlight on 21 June to 50% of the designated	P2 Private open space must receive adequate sunlight having regard to: (a) The topography of the	*The proposal relies upon assessment against the performance criteria, due to the orientation,*

private open space area.	site; (b) Site constraints, including any vegetation; (c) The orientation and shape of the site; and (d) The location and size of buildings on the site and adjoining lots.	*location and size of the site and the existing surrounding buildings. The patios will receive direct morning sunlight with the units "wrapped" around the perimeter of the site, allowing the maximum solar gain possible to the location.*

15.4.7 Overshadowing private open spaces

Objective: **To ensure new buildings do not unreasonably overshadow existing private open space.**		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1.1 Where new building reduce sunlight to the private open space of an existing dwelling, at least 75% of the private open space must receive no less than 4 hours of sunlight on 21 June; and A1.2 Where less than 75% of the existing private open space receives 4 hours of sunlight on 21 June, new buildings must not further reduce the amount of sunlight.	P1 New buildings must not unreasonably overshadow existing private open spaces, having regard to: (a) The impact on the amenity of existing dwellings; (b) Sunlight penetration to the private open space of the existing dwelling; (c) The time of day and the duration that sunlight is available to the private open space of the existing dwelling; and (d) The effect of a reduction in sunlight on the existing use of the private open space.	The proposal complies with the acceptable solution. The proposal will not reduce sunlight to existing dwellings, as the site is surrounded by carpark and Fresh business premises are located in the south eastern section of the locality. The existing wall of the western side is taller than the proposal and therefore the proposal will not overshadow any adjacent user any greater than which currently exists.

15.4.8 Storage

Objective **To provide adequate storage for each dwelling.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1 Each dwelling must have access to 6 cubic metres of dedicated, secure storage space no located between the primary frontage and the façade of the dwelling.	P1 Each dwelling must provide adequate storage for the reasonable needs of residents, having regard to: (a) Size and type of dwelling proposed; (b) The location, type, and	*The proposal complies with the acceptable solution. Each unit is provided with a storage area of at least 6m^3 per dwelling and is within an area for the exclusive use of each dwelling.*

	size of storage proposed; (c) The availability, accessibility and convenience of the storage proposed; (d) Any common or other types of storage on the site; and (e) The existing streetscape.	

15.4.9 Common property

Objective: **To ensure that common areas are easily identified.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1 Site drawings must clearly delineate private and common areas, including: (a) Driveways; (b) Parking spaces, including visitor parking spaces; (c) Landscaping and gardens; (d) Mailboxes; and (e) Storage for waste and recycling bins.	P1 No performance criteria.	*The proposal complies with the acceptable solution. Site drawings show driveways, parking spaces including visitor spaces, mailboxes and a small level of landscaping which is suitable to the site. As only a Council rubbish bag collection is available to the site in terms of waste collection, it is not necessary to delineate storage for waste and recycling bins are this is not a service provided in this locality.*

15.4.10 – 15.4.13 – Not applicable, proposal is not a subdivision.

4.1 Other Planning Considerations

E1.0 Bushfire Prone Areas Code – Not applicable.
E2.0 Potentially Contaminated Land Code – Not applicable, the subject site is not potentially contaminated land.
E3.0 Landslip Code – Not applicable.
E4.0 Road and Railway Assets Code – Applicable.
E4.6.1 Development Adjacent to Roads and Railways

Objective **To ensure that development adjacent to category 1 or category 2 roads or the rail network:** **(a) Ensures the safe and efficient operation of roads and the rail network;** **(b) Allows for future road and rail widening, realignment and upgrading; and** **(c) Is located to minimise adverse effects of noise, vibration, light and air emissions from roads**

and the rail network.		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1.1 Except as provided in A1.2, the following development must be located at least 50m from the rail network, or a category 1 road or category 2 road, in an area subject to a speed limit of more than 60km/h: (a) New buildings; (b) Other road or earth works; and (c) Building envelopes on new lots. A1.2 Buildings must be: (a) Located within a row of existing buildings and setback no closer than the immediately adjacent building; or (b) An extension which extends no closer than: (i) the existing building; or (ii) an immediately adjacent building.	P1 The location of development, from the rail network, or a category 1 road or category 2 road in an area subject to a speed limit of more than 60km/h, must be safe and not unreasonably impact on the efficiency of the road or amenity of sensitive uses, having regard to: (a) The proposed setback; (b) The existing setback of buildings on the site; (c) The frequency of use of the rail network; (d) The speed limit and traffic volume of the road; (e) Any noise, vibration, light and air emissions from the rail network or road; (f) The nature of the road; (g) The nature of the development; (h) The need for the development; (i) Any traffic impact assessment; (j) Any recommendations from a suitably qualified person for mitigation of noise, if for a habitable building for a sensitive use; and (k) Any written advice received from the rail or road authority.	*Not applicable as the proposed use is not on or within 50 metres of a Category 1 or 2 road.*

E4.6.2 Road Accesses and Junctions

Objective **To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions.**		
Acceptable Solution	**Performance Criteria**	***Proposal Response***
A1	P1	*Not applicable. No new access is*

No new access or junction to roads in an area subject to a speed limit of more than 60km/h.	For roads in an area subject to a speed limit of more than 60km/h, accesses and junctions must be safe and not unreasonably impact on the efficiency of the road, having regard to: (a) The nature and frequency of the traffic generated by the use; (b) The nature of the road; (c) The speed limit and traffic flow of the road; (d) Any alternative access; (e) The need for the access or junction; (f) Any traffic impact assessment; and (g) Any written advice received from the road authority.	*proposed.*
A2 No more than one access providing both entry and exit, or two accesses providing separate entry and exit, to roads in an area subject to a speed limit of 60km/h or less.	P2 For roads in an area subject to a speed limit of 60km/h or less, accesses and junctions must be safe and not unreasonable impact on the efficiency of the road, having regard to: (a) The nature and frequency of the traffic generated by the use; (b) The nature of the road; (c) The speed limit and traffic flow of the road; (d) Any alternative access; (e) The need for the access or junction; (f) Any traffic impact assessment; and (g) Any written advice received from the road authority.	*Not applicable. No new access is proposed.*

E4.6.3 New Level Crossings – Not applicable.

E4.6.4 Sight Distance at Accesses, Junctions and Level Crossings

Objective

To ensure that accesses, junctions and level crossings provide sufficient sight distance between vehicles and between vehicles and trains to enable safe movement of traffic.

Acceptable Solution	Performance Criteria	*Proposal Response*
A1 Sight distances at: (a) An access or junction must comply with the Safe Intersection Sight Distance shown in Table E4.6.4; and (b) Rail level crossings must comply with *AS1742.7 Manual of uniform traffic control devices – Railway crossings*, Standards Association of Australia.	P1 The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles, having regard to: (a) The nature and frequency of the traffic generated by the use; (b) The frequency of use to the road or rail network; (c) Any alternative access; (d) The need for the access, junction or level crossing; (e) Any traffic impact assessment; (f) Any measures to improve or maintain sight distance; and (g) Any written advice received from the road or rail authority.	*Not applicable. No new access is proposed.*

E5.0 Flood Prone Areas Code – Not applicable.

E6.0 Car Parking and Sustainable Transport Code

Table E6.1: Parking Space Requirements

Use	Parking Requirement	
	Vehicle	**Required**
Residential (2 or more bedroom dwelling)	**2 spaces per dwelling + 1 visitor space per 4 dwellings (rounded up to the nearest whole number)**	**2 spaces per dwelling + 1 visitor spaces (9 in total)**

Proposal Response

The proposal provides 1 space per dwelling and 3 visitor spaces. The proposal provides 7 in total.

E6.5 Use Standards

E6.6.1 Car Parking Numbers

Objective **To ensure that an appropriate level of car parking is provided to service use.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***

A1 The number of car parking spaces must: a) Not be less than 90% of the requirements of Table E6.1 (except for dwellings in the General Residential Zone); or b) Not be less than 100% of the requirements of Table E6.1 for dwellings in the General Residential Zone; or c) Not exceed the requirements of Table E6.1 by more than 2 spaces or 5% whichever is the greater, except for dwellings in the General Residential Zone; or d) Be in accordance with an acceptable solution contained within a parking precinct plan.	P1.1 The number of car parking spaces for other than residential uses, must be provided to meet the reasonable needs of the use, having regard to: (a) The availability of off-road public car parking spaces within reasonable walking distance; (b) The ability of multiple users to share spaces because of: (i) variations in car parking demand over time; or (ii) efficiencies gained by consolidation of car parking spaces; (c) The availability and frequency of public transport within reasonable walking distance of the site; (d) Any site constraints such as existing buildings, slope, drainage, vegetation and landscaping; (e) The availability, accessibility and safety of on-road parking, having regard to the nature of the roads, traffic management and other uses in the vicinity; (f) An assessment of	*The proposal relies upon assessment against the performance criteria. The proposal provides for 1 car parking space for each dwelling within the garage for each unit. 3 visitor car parking spaces are provided to the development. The subject site is located in close proximity to the CBD business area of Launceston, provided within walking distance to the central business area of Launceston, the Launceston General Hospital and many services and activities.* *The subject site is located immediately over the road from the CBD Parking Exemption Area on Elizabeth Street. It is also recognised that cycling and public transport are other transportation modes available to the residents of the dwellings.*

	the actual car parking demand determined in light of the nature of the use and development; (g) The effect on streetscape; and (h) Any recommendations of any traffic impact assessment prepared for the proposal; or P1.2 The number of car parking spaces for residential uses must be provided to meet the reasonable needs of the use, having regard to: (a) The intensity of the use and car parking required; (b) The size of the dwelling and the number of bedrooms; and (c) The pattern of parking in the locality; or P1.2 The number of car parking spaces complies with any relevant parking precinct plan.	
A2 The number of accessible car parking spaces for use by persons with a disability must be: (a) For uses that require 5 or less parking spaces – 1 space; or	P2 No performance criteria.	*In accordance with recent changes by TPC, dwellings do not require accessible spaces for persons with a disability. Therefore the provision is not applicable.*

(b) For uses that require 6 or more parking spaces – in accordance with Part D3 of Volume 1 of the National Construction Code 2014.	

E6.5.2 – E6.5.3 – Not applicable. Development is for Residential use class.
E6.5.4– Not applicable. The proposal does not require greater than 20 car parking spaces by Table E6.1.
E6.5.5 – Not applicable. Development is for Residential use class.

E6.6 Development Standards
E6.6.1 Construction of Parking Areas

Objective **To ensure that parking areas are constructed to an appropriate standard.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1 All parking, access ways, manoeuvring and circulation spaces must: (a) Have a gradient of 10% or less; (b) Be formed and paved; (c) Be drained to the public stormwater system, or contain stormwater on the site; (d) Except for a single dwelling, and all uses in the Rural Resource, Environmental Management and Open Space zones, be provided with an impervious all weather seal; and (e) Except for a single dwelling, be line marked or provided with other clear physical means to delineate parking spaces.	P1 All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions, having regard to: (a) The nature of the site; (b) The topography of the land; (c) The drainage system available; (d) The likelihood of transporting sediment or debris from the site onto a road or public place; (e) The likelihood of generating dust; and (f) The nature of the proposed surfacing	*With appropriate conditions contained in an approval, the proposal is considered to comply with the Acceptable Solution.*

and line marking.

E6.6.2 Design and Layout of Parking Areas

Objective **To ensure that parking areas are designed and laid out to provide convenient, safe and efficient parking.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1.1 Car parking, access ways, manoeuvring and circulation spaces must: (a) Provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces; (b) Have a width of vehicular access no less than the requirements in Table E6.2, and no more than 10% greater than the requirements in Table E6.2; (c) Have parking spaces dimensions in accordance with the requirements in Table E6.3; (d) Have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table E6.3 where there are 3 or more car parking spaces; and (e) Have a vertical clearance of not less than 2.1 metres above the parking surface level. A1.2 All accessible spaces for use by persons with a disability must be located closest to the main entry	P1 Car parking, access ways, manoeuvring and circulation spaces must be convenient, safe and efficient to use, having regard to: (a) The characteristics of the site; (b) The proposed slope, dimensions and layout; (c) Vehicle and pedestrian traffic safety; (d) The nature and use of the development; (e) The expected number and type of vehicles; (f) The nature of traffic in the surrounding area; and (g) The provisions of Australian Standards *AS 2890.1 – Parking Facilities, Part 1: Off Road Car Parking* and AS2890.2 Parking Facilities, Part 2: Parking Facilities – Off-Street	*The proposal meets the acceptable solutions.*

point to the building. A1.3 Accessible spaces for people with disability must be designated and signed as accessible spaces where there are 6 spaces or more. A1.4 Accessible car parking spaces for use by persons with disabilities must be designed and constructed in accordance with *AS/NZ2890.6-2009 Parking facilities – Off-street parking for people with disabilities.*	commercial vehicle facilities.	

E6.6.3 Pedestrian Access

Objective **To ensure pedestrian access is provided in a safe and convenient manner.**		
Acceptable Solutions	**Performance Criteria**	***Proposal Response***
A1 Uses that require 10 or more parking spaces must: (a) Have a 1m wide footpath that is separated from the access ways or parking aisles, except where crossing access ways or parking aisles, by: (i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or (ii) protective devices such as bollards, guard rails or planters between the footpath and the access ways or parking aisle; and (b) Be signed and line marked at points where pedestrians cross access ways or parking aisles;	P1 Safe pedestrian access must be provided within car parks, having regard to: (a) The characteristics of the site; (b) The nature of the use; (c) The number of parking spaces; (d) The frequency of vehicle movements; (e) The needs of persons with a disability; (f) The location and number of footpath crossings; (g) Vehicle and pedestrian traffic safety; (h) The location of any	*Not applicable. The proposal requires 9 parking spaces.*

and A1.2 In parking areas containing accessible car parking spaces for use by persons with disability, a footpath having a minimum width of 1.5m and a gradient not exceeding 1 in 14 is required from those spaces to the main entry point to the building.		access ways or parking aisles; and (i) Any protective devices proposed for pedestrian safety.

E6.6.4 – 6.6.6 – Not applicable as no loading bays proposed and the use does not require bicycle parking provisions in accordance with E6.2.3.1.
E7.0 Scenic Management Code – Not applicable.
E8.0 Biodiversity Code – Not applicable. No vegetation is to be removed as part of the development of the site.
E9.0 Water Quality Code – Applicable. The development is exempt under E9.4.1 as the use and development is to be connected to reticulated stormwater.
E10.0 Recreation and Open Space Code – Not applicable, the proposal is not for a subdivision.
E11.0 Environmental Impacts and Attenuation Code – Not applicable.
E12.0 Airports Impact Management Code – Not applicable.
E13.0 Local Historic Heritage Code – Not applicable.
E14.0 Coastal Code – Not applicable.
E15.0 Telecommunications Code – Not applicable.
E16.0 Invermay/Inveresk Flood Inundation Area Code – Not applicable.
E17.0 Cataract Gorge Management Area Code – Not applicable.
E18.0 Signs Code – Not applicable.
E19.0 Development Plan Code – Not applicable.

The proposal is considered to be consistent with the Launceston Interim Planning Scheme 2015, and should therefore be considered for approval.

Kind Regards,

Rebecca Green

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