

# 23 Adelaide Street

## Design Response Report



# Contents

- 1-6 Context & Existing Conditons
- 7 Diagrams
- 8 Materiality & Detail
- 9-11 Plans & Sectional Elevations
- 12-15 Perspectives

# Site Context

HIGH TRAFFIC VOLUME

MEDIUM TRAFFIC VOLUME

LOW TRAFFIC VOLUME

SITE

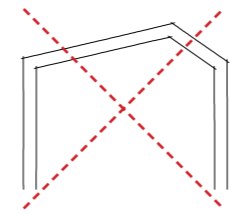
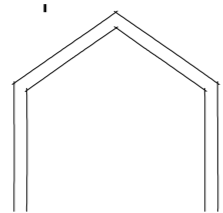
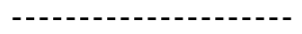
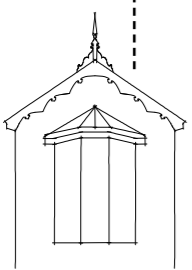


# Immediate Context

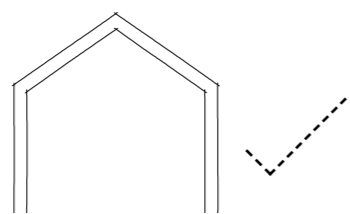


Low traffic area with a reasonable frequency of pedestrian movement between High Street and York

# Street Context



Medium pitch gable with strongly expressed ends appears to be the most appropriate contemporary form to fit with its immediate context



The site is heavily vegetated and although its boundary runs along a Stewart Street, it is well concealed from its neighbours and environs. Overshadowing and visual impact are nil for an extension that resembles the existing kitchens form, and is respectful of height restraints. A precedent set by adjacent



# Existing Conditions



Existing out house



Existing end brick wall



Existing brick chimney



Existing out house rear



Existing cast iron stove  
W Peter Launceston



Existing brick chimney



Existing kitchen



Poor detailing leading to  
rising damp issues



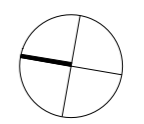
Added flue beginning to  
pull away from back wall

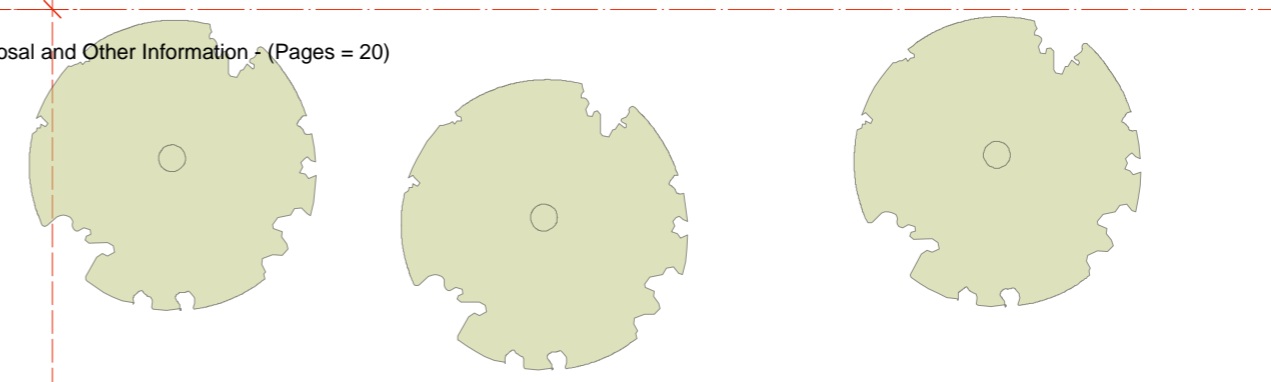
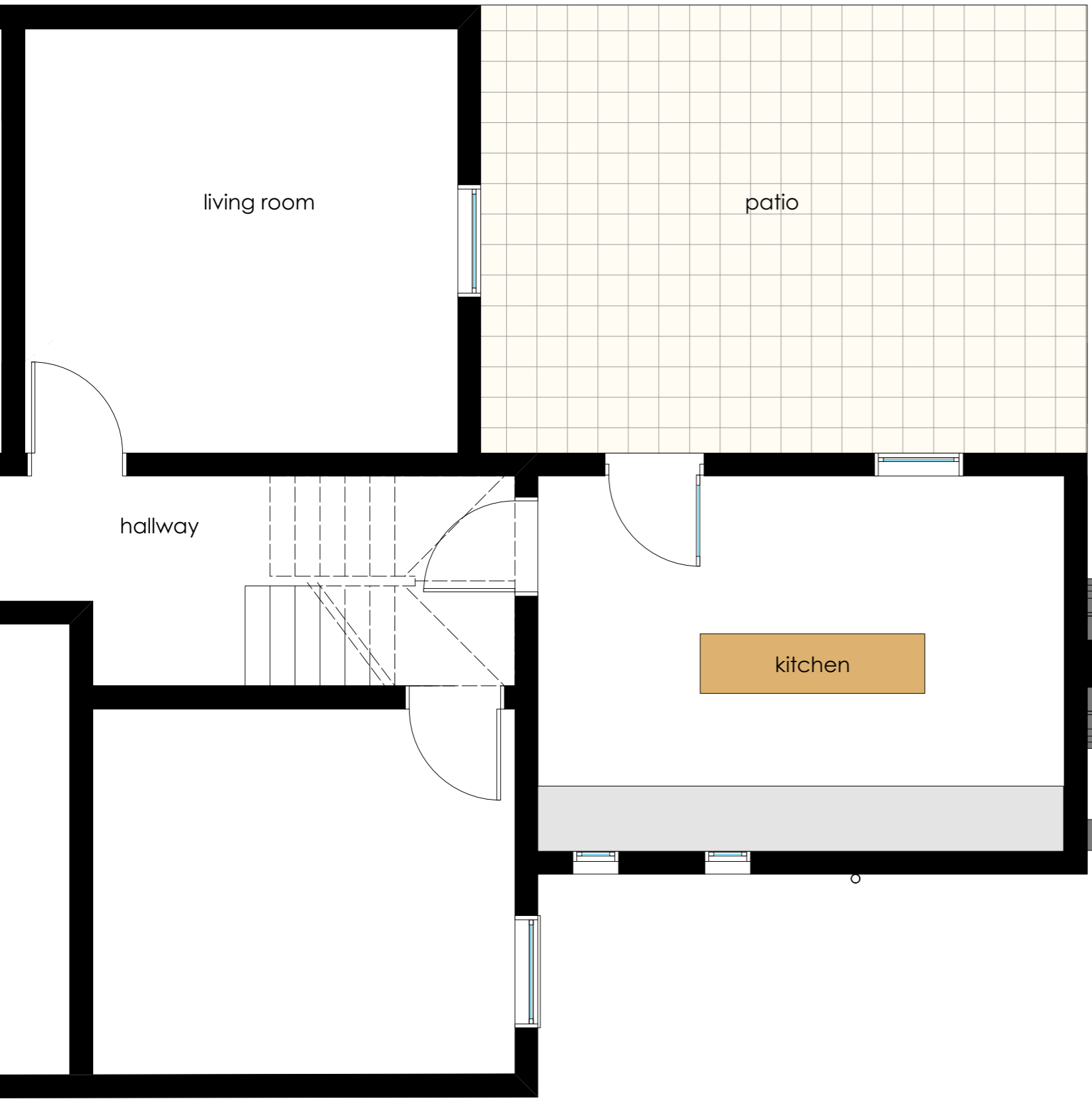


1 / 1 | 2 .01 | 6 .03 | 10 .05  
1 / 200 | 2 .01 | 6 .03 | 10 .05

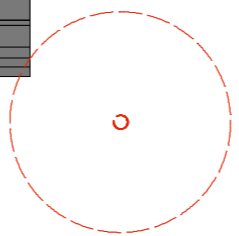
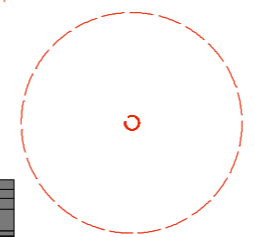
**DRAWING SIZE - A3 SCALE - 1/200**

**Existing Site Plan - 23 Adelaide Street**

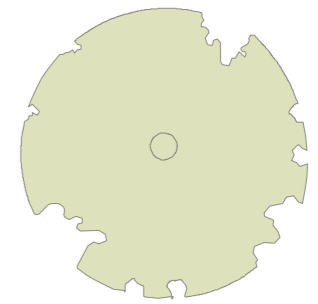
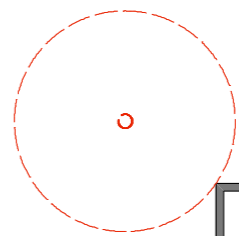
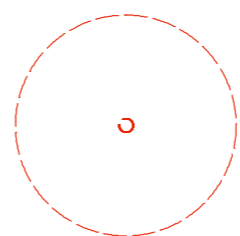




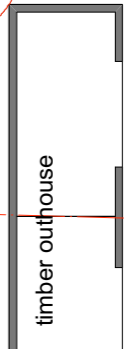
5437



small trees and shrub to be removed



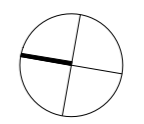
2622



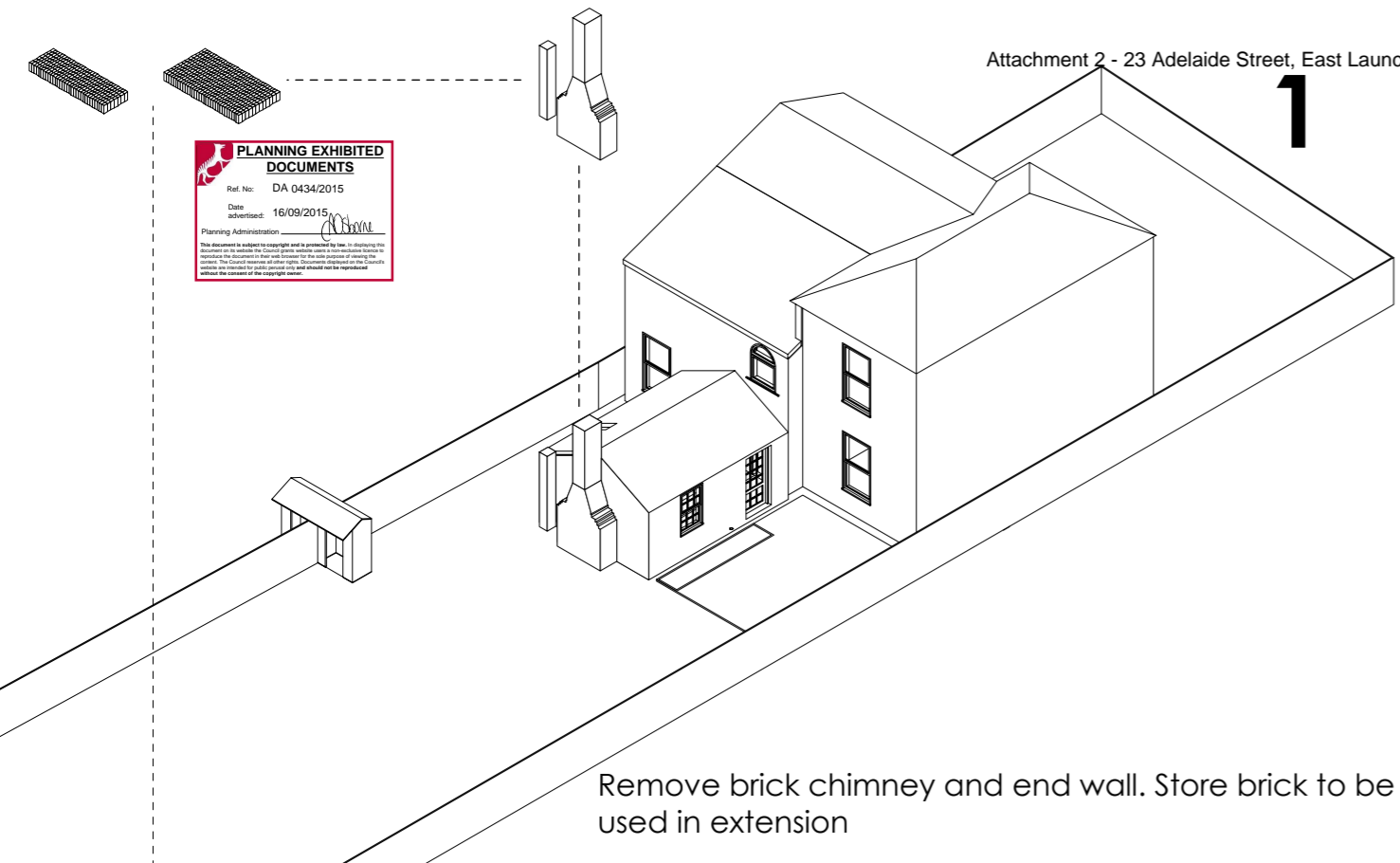
1 / 1 | .6 .01 | 1.2 .03 | 2.5 .05  
 1 / 50

**DRAWING SIZE - A3 SCALE - 1/50**

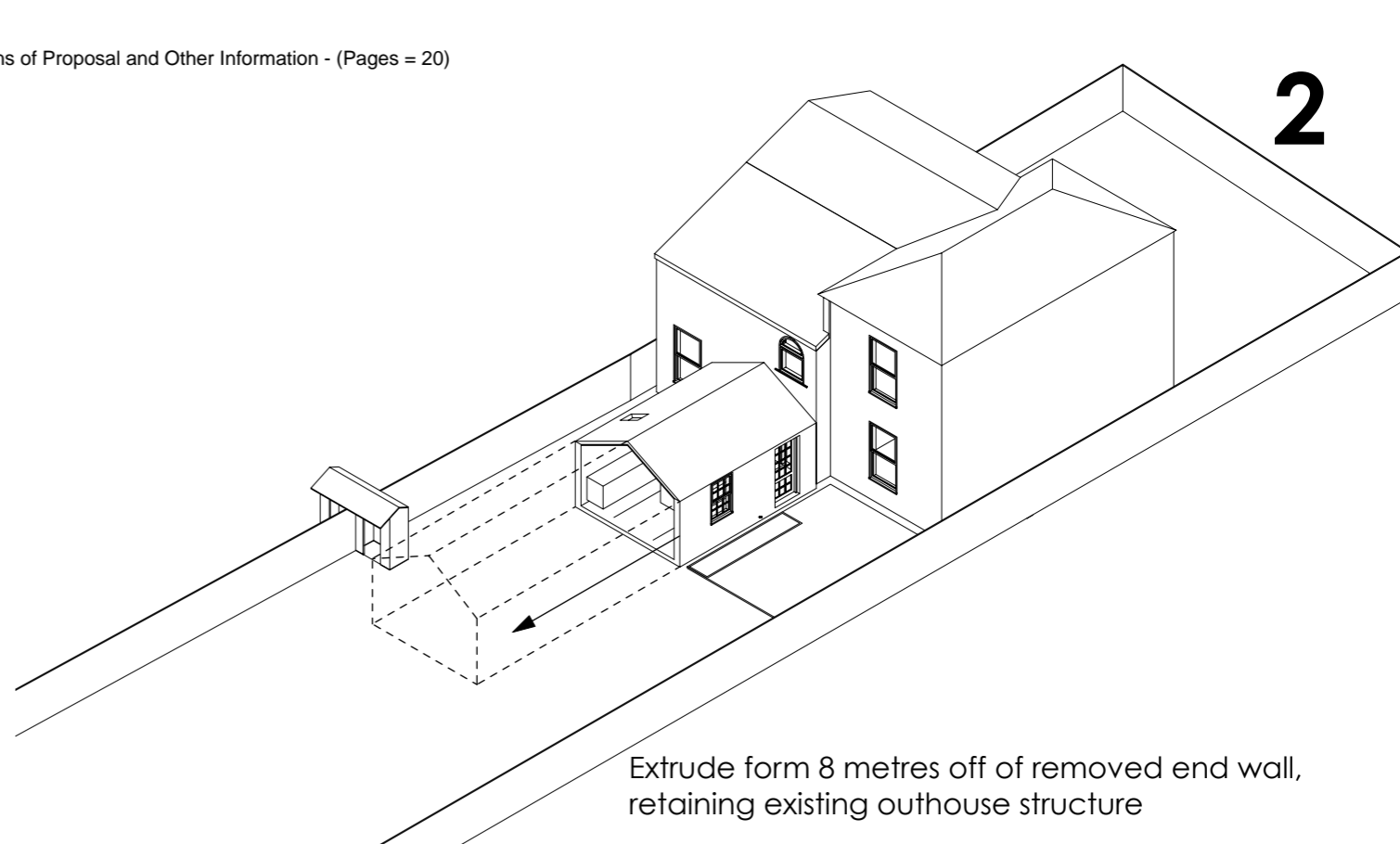
**Existing Floor Plan - 23 Adelaide Street**



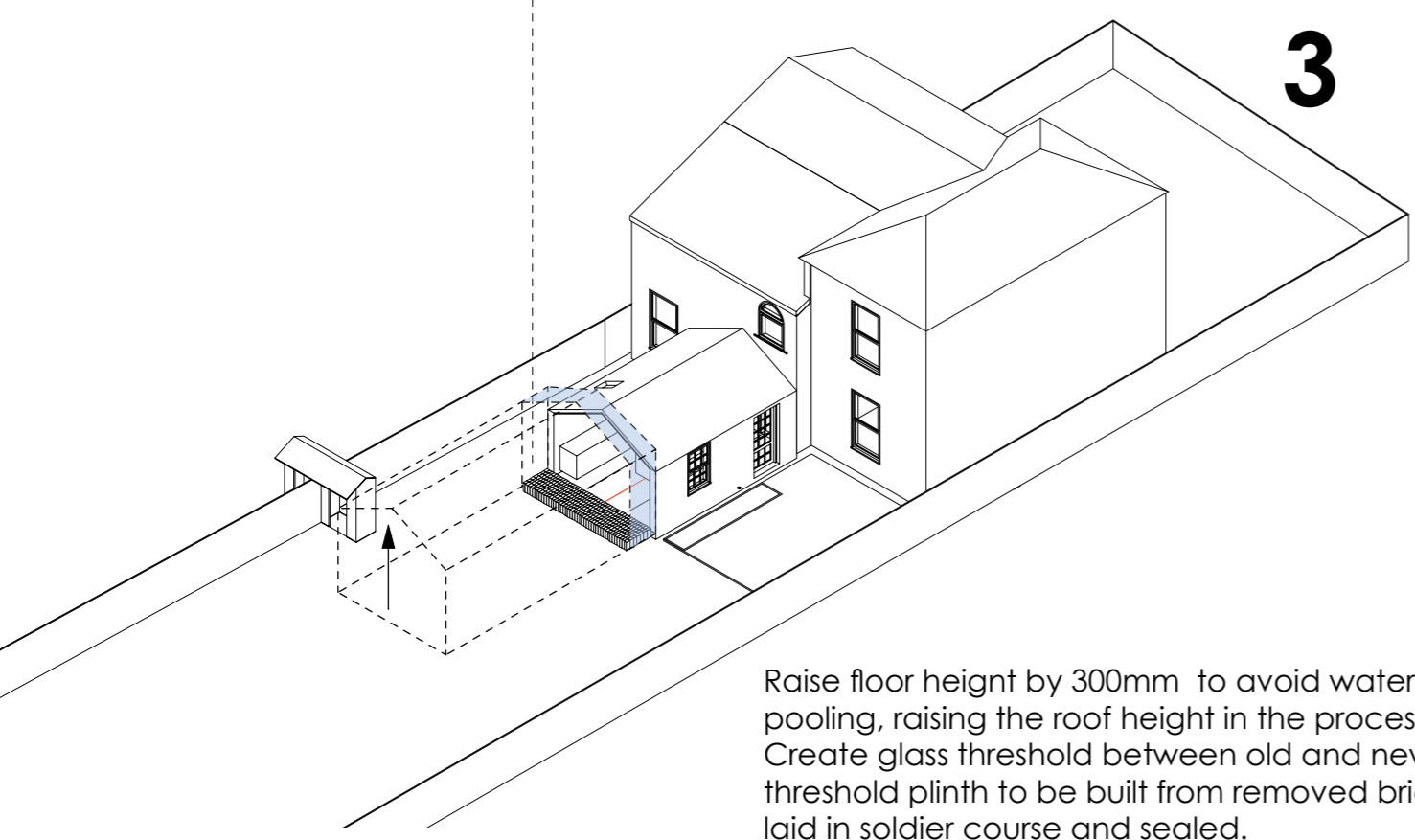




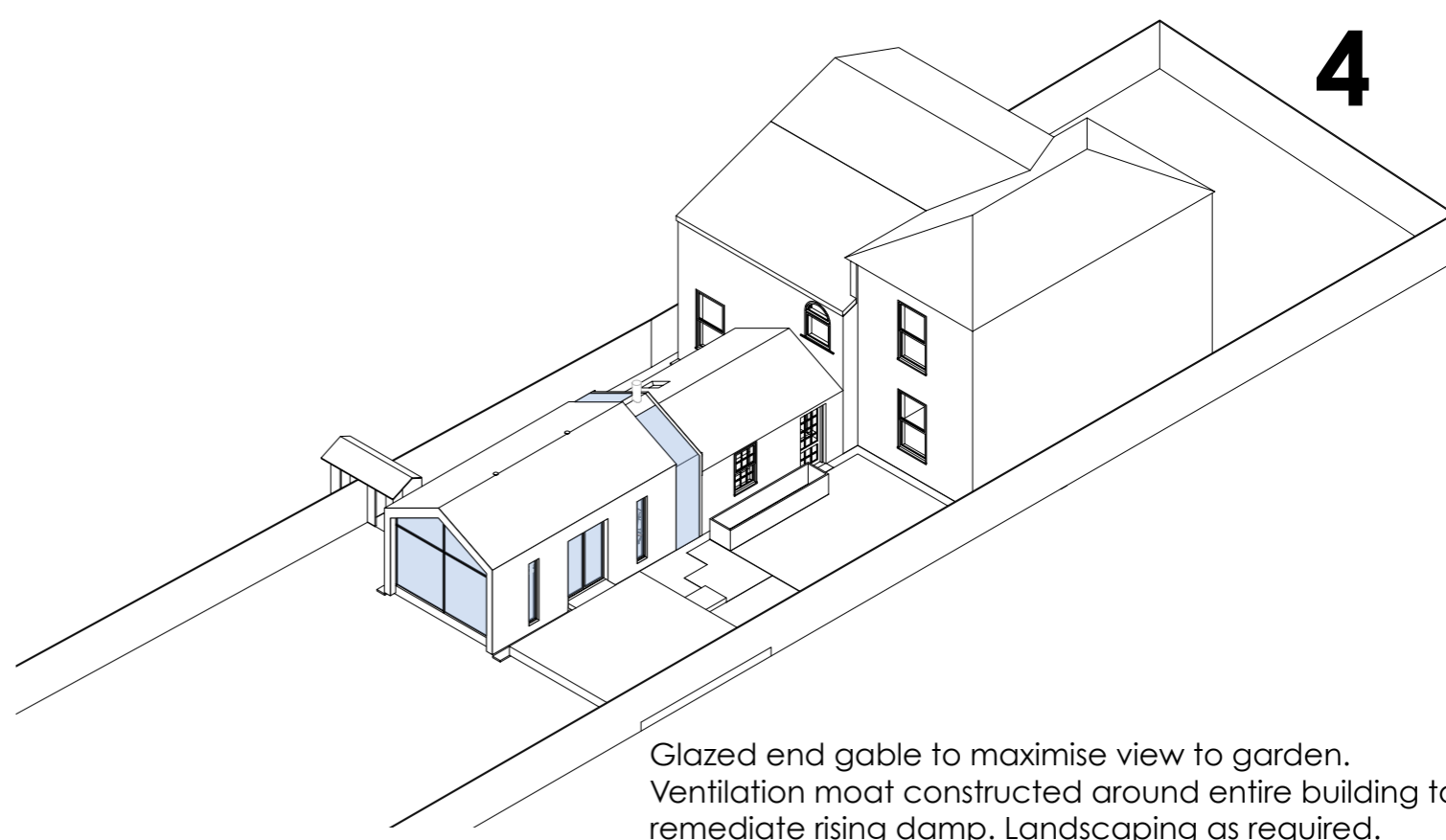
Remove brick chimney and end wall. Store brick to be used in extension



Extrude form 8 metres off of removed end wall, retaining existing outhouse structure



Raise floor height by 300mm to avoid water pooling, raising the roof height in the process. Create glass threshold between old and new, threshold plinth to be built from removed bricks laid in soldier course and sealed.

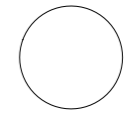


Glazed end gable to maximise view to garden. Ventilation moat constructed around entire building to remediate rising damp. Landscaping as required.

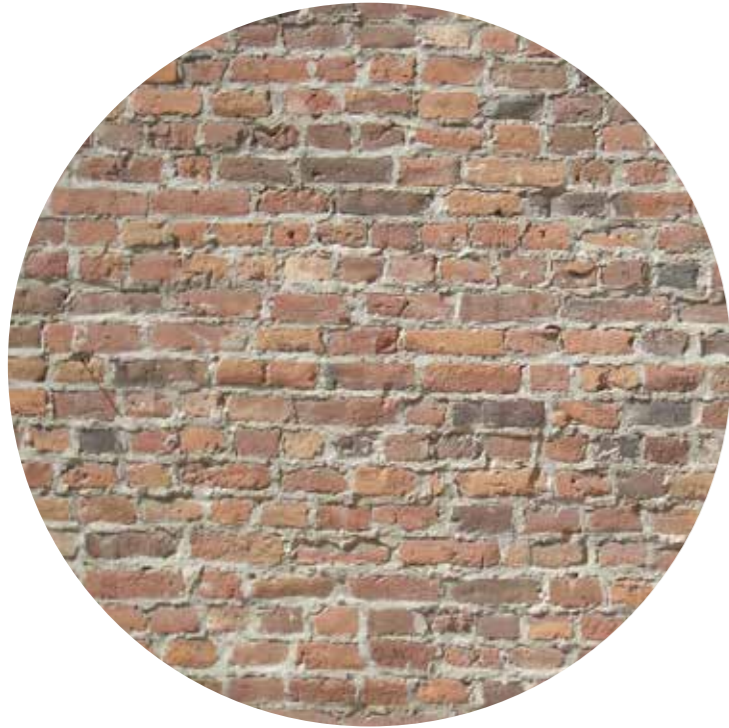
1 / 1 | 2 .01 | 6 .03 | 10 .05  
 1 / 200 | 2 | 6 | 10

**DRAWING SIZE - A3 SCALE - 1/200**

**Concept Diagrams - 23 Adelaide Street**



# Materiality + Detail



Reused clay bricks



Contrasting with dark zinc cladding



Polished concrete floors, white walls and ceilings. Timber furniture & framed objects



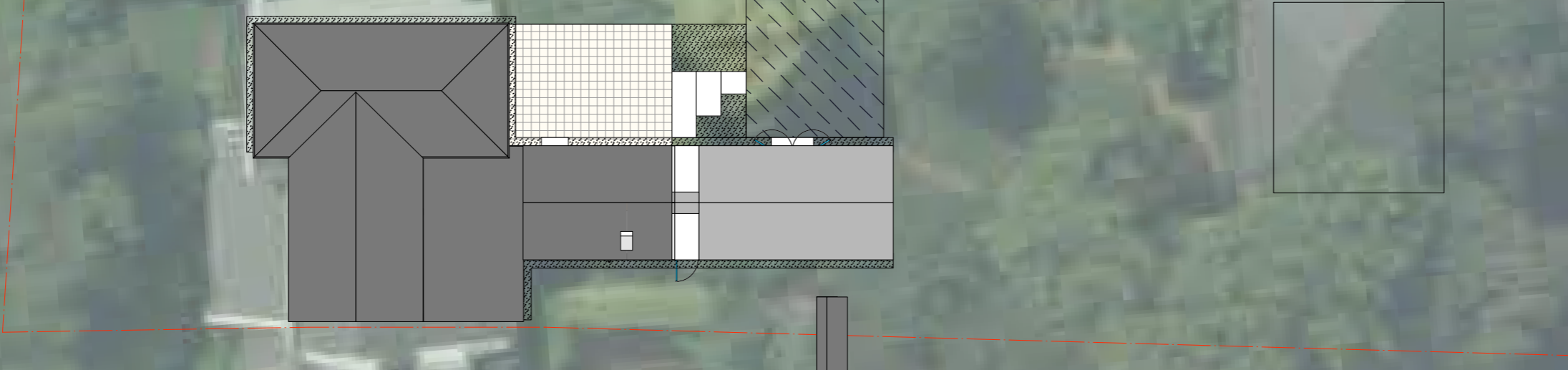
Connection of old and new



Glass threshold providing relief between existing & extension



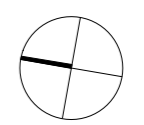
Glazed gable end

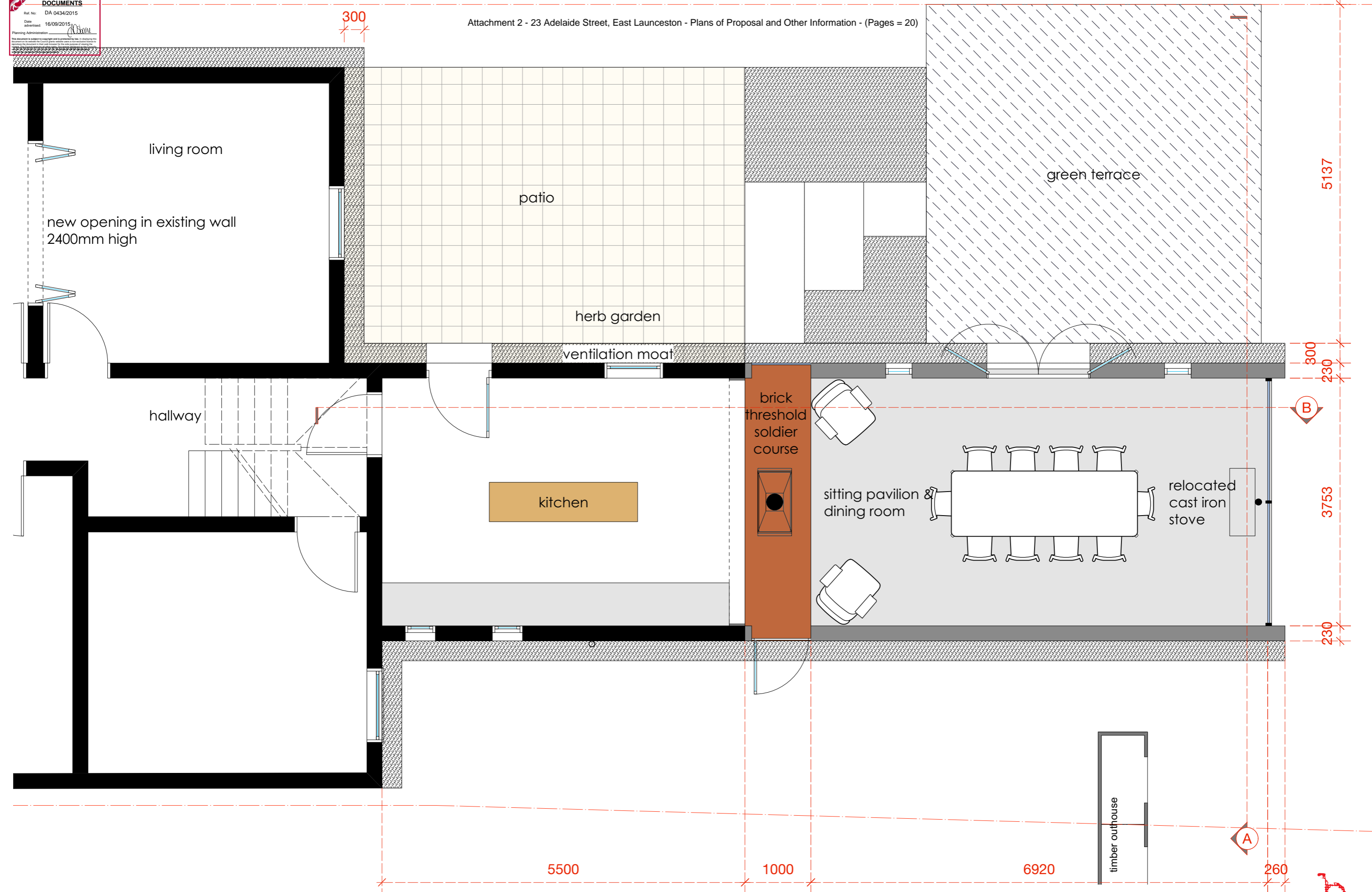


1 / 1 | 2 .01 | 6 .03 | 10 .05  
1 / 200 | 2 | 6 | 10

**DRAWING SIZE - A3 SCALE - 1/200**

**Proposed Site Plan - 23 Adelaide Street**

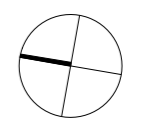




1 / 1 | 1 / 50 | .6 | 1.2 | 2.5 | .01 | .03 | .05

**DRAWING SIZE - A3 SCALE - 1/50**

**Proposed Floor Plan - 23 Adelaide Street**





Section B  
Scale: 1:50

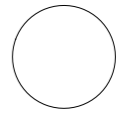


Section A  
Scale: 1:50

1 / 1 | .01 | .03 | .05  
 1 / 50 | .6 | 1.2 | 2.5

**DRAWING SIZE - A3 SCALE - 1/50**

**Sections - 23 Adelaide Street**









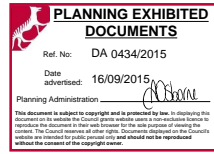




**Notes:**

Connection point between private sewer infrastructure (gully trap) and Tas Water Sewer Main located by Grant Chugg of Grant Chugg Plumbing.

Sewer Main terminates before existing dwelling and proposed extension.



Distance off Stewart Street Boundary

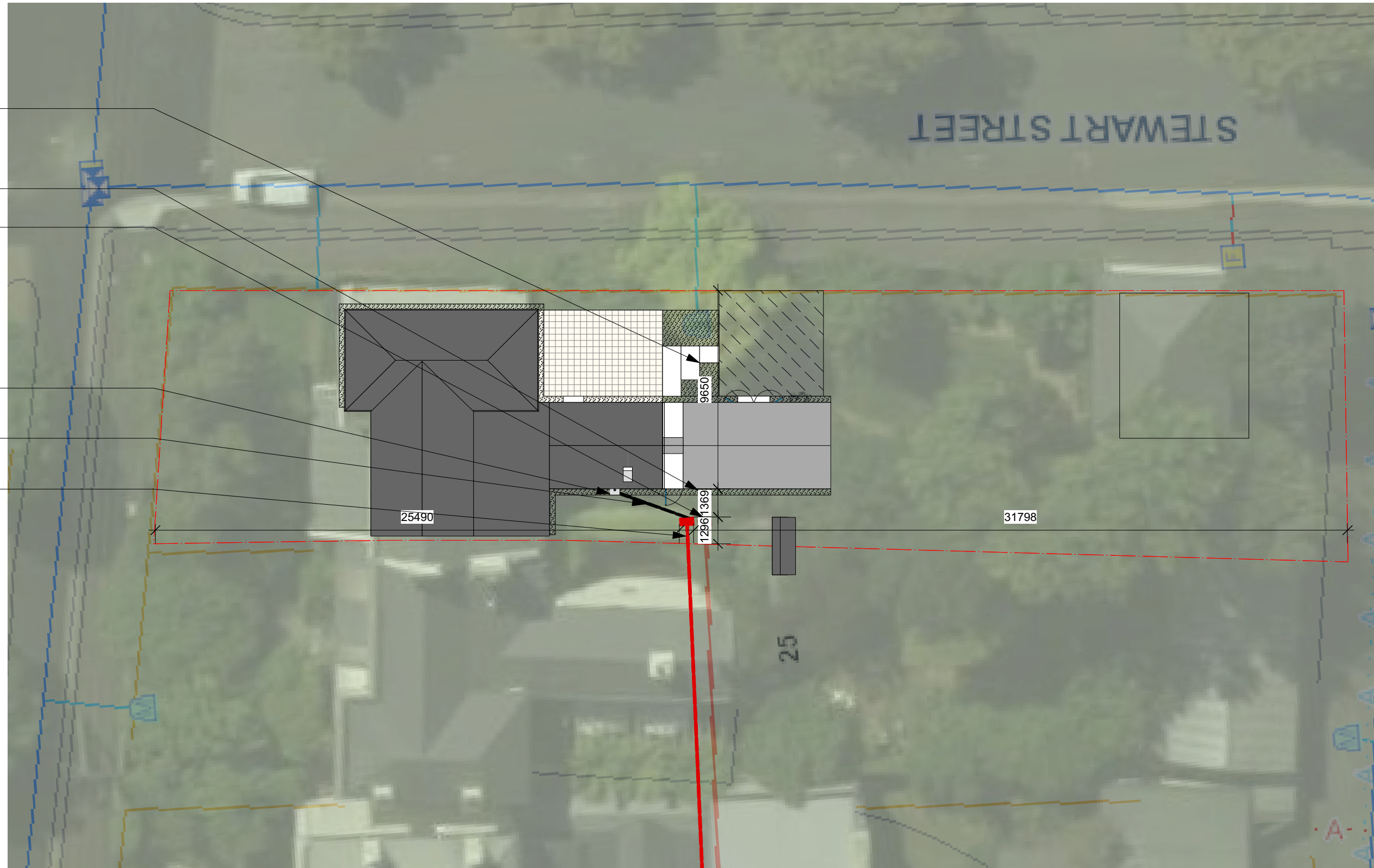
Distance off Proposed Extension

Distance off Neighbouring Property

Location of Existing Sump & Down Pipe

Location of Private Run off to Sewer main, including gully trap.

Location of existing 150ø Gravity Sewer Main, running underneath neighbouring properties.



ISSUE	DATE	REVISION
A	10/9/15	Site Plan showing exact location of 150mm diameter sewer main.



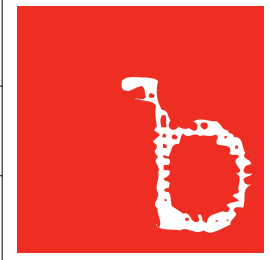
approx. north

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REASON FOR ISSUE:  
**For Development Application Only**

CHECKED: JB DATE: 10/9/15

PROJECT <b>23 Adelaide Street</b>		SCALE 1:200@A3 TM		DRAWN TM		PROJECT No 15007	
TITLE <b>Site Plan Including Watse Water Lovcation</b>				DRAWING No <b>A01</b>		REV. A	



notes: all dimensions in millimetres; do not scale; verify all dimensions on site before commencement of work; all drawings shall be read in conjunction with specifications and consultants details; all work carried out shall be in accordance with australian standards specifications and local authority by-laws and regulations; any discrepancies shall be referred to the architect; no part of this drawing may be reproduced, stored in a retrieval system of any form or transmitted by any means without prior permission of birrelli architects pty ltd



Monday, 31 August 2015

**Chris Bonner**  
**Regional Heritage Advisor**  
via email: [chris.bonner@heritage.tas.gov.au](mailto:chris.bonner@heritage.tas.gov.au)

Dear Chris,

**RE: Heritage Works Application for Proposed Extensions and Alterations to 23 Adelaide Street, Launceston**

Further to our onsite discussions at 23 Adelaide Street on the 27th August, we are pleased to submit the following heritage statement and drawings for works application consideration.

The project is a simple extension of a gable form to improve the living comfort and functionality of the existing heritage residence. The new extension is for a new dining area in line with but adjacent to the existing kitchen outbuilding.

Internally within one central wall the owners would like to form an opening to gain balanced light and better communication between two ground floor rooms. The opening will maintain nib walls on each side and cornice wall-form at lintel so that the original wall is able to be 'read' within both room spaces.

**A Bennell House**

The house at 23 Adelaide Street is one of about twenty properties built in Launceston by James Bennell between 1835 and 1876. We understand that seventeen houses of the twenty he built still stand today, and this is a good example of one of these significant homes.

James Bennell's buildings may not necessarily be remarkable examples of their time but they are remarkable survivors within the context of a rich and unusual history. They are the work of one of Australia's first speculative builders, a decorative artist and craftsman. The extent of surviving well maintained Bennell building stock is testament to the quality of their construction and the attention to detail bestowed on these solid buildings. They were mostly speculative constructions built by Bennell (and convict gangs) when Tasmania was formerly known as Van Diemen's Land.

**Current Condition and Age of Structure**

The house circa 1850 Victorian Regency style consists of double brick walls supporting a two level house with corrugated iron roof. The current kitchen is located in a single level gabled outbuilding that extends about six metres centrally into the back yard of the property. While most of the building is, fortunately, in a satisfactory condition it perhaps the rear kitchen outbuilding is one part most in need of repair, with rising damp due to a lack of damp proof course and today shows extensive cracking in the brickwork around the old chimney within the southern gable end of the kitchen room.



## Heritage Statement, Design Proposal + Interpretation

As a means of preserving and interpreting the original Bennell structure, we are proposing a design of a freestanding garden dining room that will offer the owners a strong link between their inside and outside spaces. This is not an unreasonable 21C layer to add to the heritage of the 19thC Bennell building which is by layout introverted with small window and solid door openings.

The new structure has been designed to have minimal impact by only removing one end gable brick wall on the southern side of the existing kitchen, which is in poor condition with rising damp and considerable cracking. The new building is exactly the same width of the kitchen outbuilding and shall have a matching pitched gable roof. A glass link shall be situated between the new and old parts of the building to make clear one era from the other.

The new walls and roof shall be either a zinc metal sheet or custom orb corrugated iron in dark grey. The idea is to clearly read the new form but directly relate the new roof an dwell elements/materials to the original metal roof sheeting and colouring of the existing house.

The old bricks shall be carefully removed and stored and where they are strong enough they may be recycled as a brick threshold step between the new and old parts of the kitchen extension. The old 'W. Peters' cast-iron fireplace is to be recycled and relocated as a 'functional' fireplace re-set within the new southern end of the proposed dining room.

The reuse of the bricks and relocation of the fire place extends the history of the building and respects its heritage for the future, in a meaningful newly interpreted story.

New 'Westocks System' injected damp proof coursing shall be installed where the rising damp is occurring in the existing kitchen outbuilding. A modern external concrete slab has been built up to the old brick walls partially covering up important ventilation vents. The existing concrete slab shall e cut back 300mm to allow for free air movement in the soil to the air and 'release' the heritage brick walls from capillary action and rising damp.

During the demolition process, the structure and other features will be recorded and photographed for the records of Heritage Tasmania as well as for providing material for an interpretation panel which shall outline the significance of the house within the Bennell oeuvre of buildings.

If you have any further queries, please don't hesitate to contact us,

Yours sincerely,

**Jack Birrell**

Director, Birrelli Architect  
Architect ACAA FAIA